

AGENDA

TUSAYAN PLANNING AND ZONING COMMISSION

PURSUANT TO A.R.S. § 38-431.02 & §38-431.03

Tuesday, January 14, 2014 @ 6:00pm

TUSAYAN TOWN HALL BUILDING

845 Mustang Drive, Tusayan Arizona

Pursuant to A.R.S. § 38-431.02, notice is hereby given to the members of the Tusayan Planning and Zoning Commission and to the general public that the commission will hold a meeting open to the public on Tuesday, January 14, 2014 at the Tusayan Town Hall Building. The commission may change, in its discussion, the order in which any agenda items are discussed during the course of the meeting.

Persons with a disability may request a reasonable accommodation by contacting Town Manager (928) 638-9909 as soon as possible.

As a reminder, if you are carrying a cell phone, electronic pager, computer, two-way radio, or other sound device, we ask that you silence it at this time to minimize disruption of today's meeting.

PLANNING AND ZONING COMMISSION AGENDA

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

2. ROLL CALL

CHAIR ROBERT GOSSARD

VICE CHAIR BETH HEARNE

COMMISSIONER SANDRA ANGAT

COMMISSIONER CLAYANN COOK

COMMISSIONER JANET ROSENER

TOWN COUNCIL LIAISON COUNCILMEMBER CRAIG SANDERSON

3. CALL TO THE PUBLIC FOR ITEMS NOT ON THE AGENDA

Members of the public may address the Commission on items not on the printed agenda. The Commission may not discuss, consider or act upon any matter raised during public comment. Comments will be limited to three minutes per person.

4. CEREMONIAL AND/OR INFORMATIONAL MATTERS

None

5. CONSENT AGENDA

Approval of the Minutes of the Regular Meeting held on 12/17/13

6. PUBLIC HEARING (continued)

Final Draft of the Tusayan General Plan 2024

7. ACTION ITEMS

- A. Consideration, discussion, and possible approval of Tusayan General Plan 2024 (continued)**
- B. Consideration, discussion, and possible approval of Design Review Case No. DR2013-06, a Design Review for Interim Housing at Camper Village (continued)**
- C. Consideration, discussion, and possible approval of Design Review Case No. DR2014-01, a Design Review of an Expansion of Big E Steakhouse**

8. MOTION TO ADJOURN

CERTIFICATION OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at the General Store in Tusayan, Arizona on this _____ day of January, 2014 at _____ pm in accordance with the statement filed by the Tusayan Town Council.

Signature of person posting the agenda

ITEM NO. 5

TUSAYAN PLANNING AND ZONING COMMISSION

PURSUANT TO A.R.S. 38-431.02 & 38-431.03

TUESDAY, DECEMBER 17, 2013 @ 6:00 pm

TUSAYAN TOWN HALL

845 Mustang Drive, Tusayan, Arizona

PLANNING AND ZONING COMMISSION MEETING SUMMARIZED MINUTES

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Chair Gossard called the meeting to order at 6:00 pm and the Pledge of Allegiance was recited.

2. ROLL CALL

Upon roll call, the following were present:

CHAIR ROBERT GOSSARD

VICE CHAIR BETH HEARNE

COMMISSIONER SANDI ANGAT

COMMISSIONER CLAYANN COOK - excused

COMMISSIONER JANET ROSENER

TOWN COUNCIL LIAISON COUNCILMEMBER CRAIG SANDERSON

Also present were:

Will Wright, Town Manager

Richard Turner, Town Planner

Melissa Drake, Town Clerk

Councilmember Bill Fitzgerald

3. CALL TO THE PUBLIC FOR ITEMS NOT ON THE AGENDA

NONE

4. CEREMONIAL AND/OR INFORMATIONAL MATTERS

NONE

5. CONSENT AGENDA

Approval of the Minutes of the Regular Meeting held on 9/24/13

Commissioner Angat made a motion to approve the minutes for the September 24, 2013 meeting. Vice Chair Hearne seconded the motion and it passed unanimously.

6. PUBLIC HEARING

Final Draft of the Tusayan General Plan 2024

Town Planner Richard Turner introduced the topic and stated that there have been requests from the Fire Chief, the head of the Sanitary District, and Former Mayor Pete Shearer to continue this hearing until the next meeting to allow additional time for review. He gave an overview of the status of the General Plan and encouraged the Commission to review all comments from the public and if the Plan is acceptable, to approve it and send it on to the Town Council for their approval.

Carolyn Oberholtzer, representing Red Feather Properties, spoke to the Commission requesting additional time for review and incorporation of the issues (such as trails, flood plains, maps, etc.) which she outlined in a letter to the Commission. She requested the Commission continue the Public Hearing to take additional comment. She stated that Arizona State law governs how amendments to the General Plan can be made.

Richard Turner stated that major amendments can only be made once per year. He also stated that the trail section was taken directly from public participation sessions.

Commissioner Angat stated that the Commission should meet more often to cover the General Plan.

Former Mayor Pete Shearer requested a continuance on behalf of the Sanitary District to allow additional time to review the final draft. He also stated that the Technical Advisory Committee did not meet to review the final draft.

Vice Chair Hearne made a motion to continue the Public Hearing to January 14, 2013. Commissioner Rosener seconded the motion and it passed on unanimous vote.

Mr. Turner asked the Commission if there is additional work staff should prepare for the next meeting. They directed him to work with Ms. Oberholtzer to consider the issues she outlined in her letter.

7. ACTION ITEMS

A. Consideration, discussion, and possible approval of Tusayan General Plan 2024

This item was continued until January 14, 2013.

B. Consideration, discussion, and possible approval of Design Review Case No. DR2013-05, Replacement Signage for the Canyon Plaza Resort

Mr. Turner introduced the topic and covered his staff report and recommendation of approval as long as it is A. in accordance with the application and B. the owners keep the signage in good repair. He stated that the application is in keeping with the Zoning Ordinance.

Jeremy Galloway of YESCO Signs answered a question from the Commission about the earth-tone colors specified in the application.

Commissioner Angat made a motion to approve DR2013-05 with conditions A & B per staff recommendation. Commission Hearne seconded the motion and it passed on unanimous vote.

C. Consideration, discussion, and possible approval of Design Review Case No. DR2013-06, a Design Review for Interim Housing at Camper Village

Commissioner Angat recused herself on this item based on her employment with Stilo Development Group and left the dais.

Mr. Turner recommended continuance to the January 14, 2013 meeting based on continuing issues and time needed for additional review.

Robb Baldosky, speaking as the applicant, stated that he agreed with the continuance.

Commissioner Hearne made a motion to continue the topic to January 14, 2013, Commissioner Rosener seconded the motion and it passed unanimously.

Commissioner Angat returned to the meeting.

D. Consideration, discussion, and possible approval of 2014 Meeting Calendar

The Commission moved the May 27th meeting to May 20th and the December 23rd to the 16th. Commissioner Angat made a motion to approve the 2014 Meeting Calendar with the above changes. Commission Rosener seconded the motion and it passed unanimously.

8. MOTION TO ADJOURN

Vice Chair Hearne made a motion to adjourn at 6:51 pm. Commissioner Rosener seconded the motion and it passed unanimously.

Robert Gossard, Chair

Date

ATTEST:

Melissa (Malone) Drake, Town Clerk

CERTIFICATION

State of Arizona)
) ss.
Coconino County)

I, Melissa Drake, do hereby certify that I am the Town Manager of the Town of Tusayan, County of Coconino, State of Arizona, and that the above minutes are a true and correct summary of the meeting of the Planning and Zoning Commission of the Town of Tusayan held on December 17, 2013. I further certify that the meeting was duly called and held, and that a quorum was present.

DATED this 20th day of December, 2013

Melissa M. Drake, Town Clerk

ITEM NO. 6 & 7A

TOWN OF TUSAYAN STAFF REPORT

Date: January 14, 2014

To: Tusayan Planning and Zoning Commission

From: Lawrence Tomasello, Town Planner

Subject: Public Hearing and Consideration of Tusayan General Plan

ISSUE: This is a required public hearing on the 2024 General Plan for the Town of Tusayan. Following the hearing, the Commission may take action on the Plan or continue it for additional information/discussion/revision.

BACKGROUND: On November 7, 2012, staff made a presentation to the Town Council on the preparation of a General Plan for Tusayan. On January 23, 2013, the Council adopted the General Plan Public Participation Plan and the General Plan planning process was under way.

Shortly after the Town incorporated, the Council adopted the Tusayan Area Plan as its land use guidance document. That plan had previously been approved by the Coconino County Board of Supervisors in 1995. The Tusayan Area Plan is still in effect today, but will be replaced by the Tusayan General Plan when it is adopted.

State law requires that every municipality in Arizona adopt a General Plan. The law prescribes the process for adoption and the minimum requirements of the Plan's content. The draft plan satisfies the requirements of state law.

Following are some of the highlights that have lead to this point in the process.

- Formation and meeting of the General Plan Technical Review Committee
- Creation of a place on the Town's web site for the General Plan
- 28 Stakeholder interviews.
- 3 town hall workshops

On September 20, 2013, the draft General Plan was transmitted to various stakeholders for the State mandatory 60 day review. The following comments were received on that Plan:

- Carolyn K. Oberholtzer of Bergin, Frakes, Smalley & Oberholtzer on behalf of Red Feather.
- William L. Towler, FAICP, former Coconino County Community Development Director.
- David V. Uberuaga, Superintendent, Grand Canyon National Park.
- Sandy Bahr, Chapter Director, Sierra Club – Grand Canyon Chapter.

- Coconino County Health Public Health Services District.
- Bob Short, Senior Planner, Coconino County Community Development Department.
- John F. Dalby, Flagstaff District Development T.E.S., Arizona Department of Transportation.

All of these comments, in their entirety, were previously provided to the members of the Commission. Commissioners were also provided with a copy of the General Plan that was transmitted for the 60-day review.

DISCUSSION: Provided with this report is a copy of the General Plan that has been modified to reflect many of the comments received as a result of the 60-day review. For changes so reflected, please refer to "Exhibit B" where such changes are highlighted in yellow type. Not all of the comments have been incorporated into the revised and updated draft. Also a Town meeting was held on December 30, 2013, for additional review and comments is reflected in "Exhibit C."

The following is a summary of some of the more significant changes that have been made to the Plan (i.e. provided in the modified draft):

- "Natural Setting" and "Demographics" sections have been moved from the Land Use chapter to the "Introduction". It was determined that this was a more logical place to find that information.
- Additional policies to require the transmittal for review of land development applications to the Fire District, Sanitary District, School District, and Grand Canyon National Park.
- The section on Water Companies has been substantially revised with the assistance of the Town Attorney. There have been significant changes in the status of the water providers in Tusayan since the previous draft of the Plan. The other result of this new information was the elimination of Exhibit D, Water Company Customers. This Exhibit is no longer needed since in the future there will be only one water company.
- A new goal and objective dealing with improved access to health care facilities.
- A study is recommended prior to the establishment of any new shuttle stops. Increased ridership is recognized as an important component of this consideration.
- Recognition that the community values aesthetics and the visual environment.
- Updated floodplain boundaries to be shown on the exhibits.
- Revise the Land Use Map to show property on the north side of RP Drive as Commercial instead of Multi-Family Residential.
- Since this is intended to be a 10 year plan and it will not be adopted in 2013, the official title was changed to Town of Tusayan General Plan 2024.

In addition to the above, a Town meeting was held on December 30, 2013, where additional input was made by staff regarding information received to date and for comments and questions from those attending that Town meeting.

The Commissioners are encouraged to consider all input provided during the public hearings and town meetings, and to review all comments received during the 60-day review period and, if appropriate, recommend additional changes to the Plan.

RECOMMENDATION: Motion of the Planning and Zoning Commission to forward the revised and updated edition of the Tusayan General Plan 2024 to the Town Council with a recommendation of approval.

ATTACHMENTS

Exhibit "A" Tusayan General Plan 2024

Exhibit "B" Tusayan General Plan 2024 reflecting changes made following the 60 day review period.

Exhibit "C" Comments from various agencies, organizations, and individuals following the 60 day review period.

Exhibit “A” - Tusayan General Plan 2024

Is available here: <http://tusayan-az.gov/general-plan>

Exhibit “B” - Tusayan General Plan 2024 reflecting changes made following the 60 day review period

Is available here: <http://tusayan-az.gov/general-plan>

and is attached to the Agenda Packet distribution e-mail

Tusayan General Plan

1 message

Richard Turner <richard.turner@cox.net>

Fri, Dec 27, 2013 at 4:53 PM

To: Tusayan Town Manager <tusayantownmanager@gmail.com>

Cc: Tusayan Town clerk <tusayanclerk@gmail.com>, Grant Anderson <ganderson@willdan.com>, "Carolyn K. Oberholtzer" <coberholtzer@bfsolaw.com>, lawrence_tomasello@yahoo.com

Will:

Since Carolyn was unable to attend the meeting next Monday, she requested an opportunity to meet earlier to go over her clients issues and concerns with the draft General Plan.

The two of us met this afternoon and I took notes. As a general theme, she recommends the Town look to the Tusayan Area Plan (TAP) and the goals and policies contained therein as many of these are still applicable today.

In no particular order, here are her comments:

1. Remove the floodplain designation from the Future Land Use Map. Floodplain is not a land use.
2. Show the property where the Fire Station is located as "commercial" on the Future Land Use Map. That is what it is zoned.
3. The policy that requires "review and comment" on land development applications by the Fire District and the Sanitary District should state "review and approval."
4. With regard to fire protection, the Plan should include policies regarding fire prevention and protection measures such as defensible space.
5. There may be future development that falls outside of the jurisdiction of the Fire District. Those projects need to have a designated fire service provider and the plans for those projects must be reviewed and approved by the appropriate authority.
6. In the section on Water Companies, the TWDA never accepted water from the Forest Service.
7. In the section on Water Companies, it is not appropriate to cite the Tusayan Municipal Water Study if the study was not accepted or approved by the Town.
8. New policy: Adequacy of water supply shall be considered in the review of all major developments requiring Planning and Zoning Commission and Council approval.
9. New objective: Complete a water study if the Tusayan Municipal Water Study (referred to in 7 above) was never approved.
10. Incorporate the wastewater policies from the Tusayan Area Plan (with minor changes necessary to suit the Town instead of the County).
11. In the policy on undergrounding utility lines, specifically reference 69 KV lines as not being required to be put underground.
12. New goal: Complete a transportation study.
13. Require that all new major developments submit transportation studies.
14. Include the transportation related policies from the TAP.
15. Remove the potential future shuttle stop from the maps.
16. New policy: New developments that remove housing shall be required to provide replacement housing.
17. All new commercial development shall be required to provide housing for employees.
18. Use the goals and policies from the TAP as they relate to housing.
19. The Town should develop and approve open space and recreation facility standards applicable to all new development.
20. Justify or remove the 10 acre minimum for consultation with tribes and SHPO for development projects. Check with SHPO to see if they have a threshold.
21. Specify which tribes will be consulted in the review of development projects.
22. Review the 20 acre threshold for a major amendment as it relates to changes from residential to commercial. It should probably be lower.
23. Eliminate the second major amendment criteria. It is not necessary. 5 percent is too small of a change in density to require a major amendment.
24. Consider adding land use categories (page 29) that relate to existing zoning classifications (e.g. industrial).

Let me know if you have any questions.

Richard Turner, AICP



Will Wright <tusayantownmanager@gmail.com>

comments on general plan

1 message

Andrew Aldaz <andrewaldaz17@gmail.com>

Tue, Jan 7, 2014 at 2:11 PM

To: Will Wright <tusayantownmanager@gmail.com>

after reading chapter 6 on community park. The development of the park was not only done by Town money but Community, personal and Coconino County Donations.

The current concept plan for the community park should of had more community input I didn't see other things in the park other then fields first plan had more structures and thing that the community could do as for one a walking and running trail.

Community should also know that the park is on a IGA with the school it's on a 10 year lease agreement and five more after 10 years so down the road when the park goes back to the school The Community is not up in arms I seen it happen in the park when the community could not use the field because they could not find someone to insure the community leagues.

after talking with Pete and Bob water will be a concern for watering the fields if 34% of the re-calmed is used in the community how much more re-claimed water going to be taken up for watering the fields seem that Water Company and Sanitary District should be talking more on what it's going to take to keep current water supply sounded like water storage would be first order of business if town is going to grow.

last thing for me is that the School District, Fire District Water Company Sanitary District and other agencies in town meet with the Town Council once a year to exchange ideas in a town hall meeting so community can feel the everyone is working together to make this a better community.

ITEM NO. 7B

TOWN OF TUSAYAN STAFF REPORT

Date: December 17, 2013

To: Tusayan Planning and Zoning Commission

From: Richard Turner, AICP, Town Planner

Subject: Design Review No. DR2013-06, Camper Village Interim Housing

ISSUE: This is a request by Robb Baldosky on behalf of Stilo Development USA for design review approval of interim housing at Camper Village.

BACKGROUND: The application and supporting plans are included with this report.

Camper Village is comprised of approximately 18 acres located behind a row of businesses, east of Highway 64, south of Coyote Lane. Camper Village was originally established as a campground several decades ago in unincorporated Coconino County. The County issued and extended conditional use permits for a campground on this property with the last extension approved on October 28, 2003 under case UP-03-44.

The property was rezoned from RM/10A to PC (Planned Community Zone) on November 2, 2011 under Case No. Z2011-08-05-001. The rezoning application contemplated the use of a portion of the property for interim housing. One of the conditions of approval of the rezoning states as follows:

13. "The temporary housing provisions shall include, at a minimum, the standards set forth in the application narrative, plus gravel roads, minimal landscaping, and compliance with all the regulatory agencies including Arizona Department of Environmental Quality, Northern Arizona Council of Governments, Coconino County Flood Control District, and any other applicable regulatory agencies as required in the development agreement."

Pages 28 and 29 of the approved rezoning narrative report also address the interim housing use as follows:

3. Temporary housing shall comply with the following provisions of Section 13.1 of the Tusayan Zoning Ordinance:

- a. Section 13.1-5: General Requirements - With modification to the minimum required home space size. The minimum required home space size is 3,000 square feet
- b. Section 13.1-6: Interior Site Development Standards – Provision A with modification to the required minimum home space size (3,000 square feet) and provisions B, H, J and L only
- c. Section 13.1-7: Performance Standards - Provisions A, D, and E only
- d. Section 13.1-8: Accessory Structures

The number of temporary housing units allowed shall not exceed 45 units. The placement of

temporary housing units shall generally conform to the location of proposed modular homes shown on the temporary housing site plan provided in Exhibit 4.

A copy of Exhibit 4 is attached to this report.

Interim housing at Camper Village is also addressed in the Pre-Annexation and Development Agreement (PADA) between the Town and Stilo Development Group USA, LP. Section 8 of the agreement refers to the rezoning application for the site and addresses the number of double wide, single wide and smaller units to be installed. It also provides a schedule for the installation of the units. An amendment to the PADA is currently being considered. One of the provisions in the amendment commits the applicant to more extensive improvements of the property as provided in the Zoning Ordinance, Section 13.1. These improvements include landscaping, minimum size of a manufactured home (400 square feet) and guest parking.

Camper Village has been developed with a variety of dwelling types, restroom buildings and other structures located throughout the property. The existing buildings and mobile homes are shaded in on the cover sheet of the plan set. Within the area that is the subject of this review (identified as phases one and two on the plans) 8 manufactured homes have been installed. These are also shown as shaded on the plans.

Property north of the site is zoned General and has been developed with a mobile home park. Land to the east is zoned Open Space in the Kaibab National Forest. Land south of Camper Village is zoned General and is undeveloped. Parcels to the west are zoned CG-10,000 and have been developed with a variety of commercial uses.

Access to the site is from Coyote Lane to the north that connects to Highway 64 a short distance to the west. The access plan also shows access to the National Forest on the east side of the site. Apparently this provides access for the Forest Service as well allowing access from the park to trails in the forest.

This application has been transmitted to the Fire Department, the School District, the Sanitary District, Arizona Public Service, Coconino County Community Development, Building Safety (Willdan) and the Forest Service. The Commission will be advised of any responses received by staff at this meeting.

The applicant has provided a copy of a communication dated August 14, 2012 from Ted Smith, Coconino County Hydrologist indicating that he completed his review of the floodplain delineation report and stormwater information. He has approved the hydrology information submitted for the interim housing at Camper Village.

ANALYSIS:

Many aspects of this project have been determined with the prior approval of the Planned Community Zoning Camper Village. This review concerns the degree to which the proposed construction complies with the provisions of Section 13.10 of the Zoning Ordinance, Design Review.

The Design Review Section of the Zoning Ordinance requires the submittal of architectural drawings and floor plans. This requirement has little meaning in this case. There are no permanent buildings proposed. While he has provided some general guidelines, the applicant cannot state precisely how each new manufactured home will look. It would be of little value to review renderings of the existing

restroom buildings, mobile homes, storage buildings and office. Staff did not request architectural drawings from the applicant.

The interim housing at Camper Village, when taken as a whole, has been determined by staff to be a type of manufactured home park. The Design Review regulations apply to manufactured home parks, but not to the individual manufactured homes located within the park. That being said, the owner of the property does have some control over the appearance of the units located within the park. Although not required, the application has addressed the color of the units, skirting and roof pitch. These standards are found in the Development Notes on Sheet C1 and appear reasonable for the proposed interim housing.

Three phases of development are shown on the plans. All of the proposed development will occur on the southern portion of the Camper Village property. Only the first two phases are being reviewed at this time. The Phase 3 development is subject to review by a separate application at a later date.

The site is divided by a significant wash. The flood plain and floodway for this wash are shown on the plans. While there is an existing restroom building in the floodway, there are no proposed structures or living units within the area of the floodway.

The proposed layout of the spaces, the building envelopes and the setbacks are in compliance with those portions of the Zoning Ordinance (Section 13.1) that this project must comply with according to the approved zoning. Ordinarily, the perimeter setback from the property line of another parcel to a manufactured home in a manufactured home park is 15 feet (Section 13.1-2). Spaces 7 and 17 would be impacted should the Planning Commission agree that this change would be appropriate. On Space 7 the setback at the boundary with other property would be increased from 5 to 15 feet and on Space 17 from 5 to 12 feet.

Interior streets and parking spaces will be surfaced with an ABC material which is also consistent with previously approved standards for this development. In addition to the two parking spaces designated for each manufactured home space, 12 guest parking spaces will be provided. Parking will be defined by the ABC surface material as well as wheel stops.

The concept of minimal landscaping was originally approved for the interim housing at Camper Village. The proposed amendment to the PADA states that landscaping will be provided per Section 13.1-6.E of the Zoning Ordinance or as otherwise authorized by the Town Council or its designee. This section of the Zoning Ordinance requires that at least 20 percent of each space will be landscaped and that the landscaping shall include a five gallon tree on each space. Credit will be given for existing landscaping. Proposed landscaping is shown on sheet 4 of the plans. Thirty-three existing Ponderosa Pines will remain. Clusters of Aspens will be added at 11 locations throughout phases one and two. Eight Chinese Elm trees are proposed. Three varieties of shrubs, a total of 35 plants, will also be installed.

Perimeter landscaping along most of the boundaries of phases 1 and 2 would not appear to be practical or necessary. Most of the western boundary is adjacent to the back of commercial development. A significant portion of the southern boundary is within the floodway. One area that may benefit from additional landscaping for the purpose of screening the park from adjacent property would be the southwest corner of the site. Staff suggests additional Aspen clusters, 20 foot on center, beginning along the southern boundary, west of the floodway and from the southwest corner of the site, north to a point between spaces 1 and 2.

Existing propane tanks are very visible on the site. The applicant has proposed to soften the appearance of the propane tanks with picket fencing that will extend at least one foot above the height of the tank.

The plans submitted with this application differ from the exhibit that was included with the approved zoning documents. The differences appear necessary to remove any future development from the floodway, eliminate a proposed access that was not actually available and modify setbacks to conform to the minimum requirements of the zoning and in deference to exiting easements. In this regard, the plans submitted with this application are a refinement of exhibit 4 that was included with the PC zoning.

RECOMMENDATION:

The interim housing Design Review application complies with the zoning approved for the property under Case No. Z2011-08-05-001. The applicant has offered addition measures that will improve the appearance of the property and the future dwellings that are consistent with the Town's Design Review Guidelines. Accordingly, it is recommended that this application, DR2013-06, a design review application for Phases One and Two of interim housing at Camper Village located in the PC Zoning District be approved subject to the following requirements and conditions:

- a. Development in accordance with plan of development entitled "Grand Canyon Camper Village Interim Housing Phase 1 and 2 Site Plan" consisting of 4 sheets dated revised December 8, 2013.
- b. Installation of the second fire hydrant prior to the installation of any housing shown in Phase Two of the project.
- c. The perimeter setbacks on Spaces 7 and 17 shall be 15 and 12 feet respectively.
- d. Additional landscaping in the form of Aspen clusters shall be installed 20 feet on center beginning along the southern boundary, west of the floodway and from the southwest corner, north to a point between Spaces 1 and 2.
- e. Within 30 days of the approval of this application, the applicant shall submit to the Town Manager for approval an installation schedule that will include each of the improvements proposed by this application.

Attachments: Application, Site Plan (4 sheets), Space Exhibits (18 sheets), Exhibit 4

TOWN OF TUSAYAN at the entrance to Grand Canyon National Park

DATE: January 9, 2014

TO: Members of the Tusayan P&Z Commission

FROM: Will Wright, AICP, Town Manager

SUBJECT: Design Review No. DR2013-06, Camper Village Interim Housing – Addendum to Staff Report

This memo serves as an addendum to Richard Turner's December 17, 2013 staff report wherein he covered the background for this application with exhibit(s), analysis and recommendation indicating this "... Design Review complies with the zoning approved for the property under Case No. Z2011-08-05-001." Further, Richard stated the applicant had "... offered addition measures that will improve the appearance of the property ... consistent with the Town's Design Review Guidelines."

A review of approval for Phase 1 of this development was obtained over a year ago on September 10, 2012. The current development includes 6 units that have already been set and are inhabited, as well as 2 more units, which are set but remain vacant due to the stop work order issued by the town on November 14, 2013. This leaves 4 spaces available for development in Phase 1 and 5 spaces in Phase 2 for a total of 17 spaces for the Camper Village Interim Housing development.

It is worth noting that at the time of the initial approval of Phase 1 of Camper Village the town was working on its zoning codes that were adopted on December 5, 2012, which added to the confusion and somewhat complicated the processing of Phase 1 of the Camper Village Interim Housing development. However, the Stilo Group agreed to address areas in this Design Review (DR) application in order to bring the existing and proposed development into compliance with the Town's current design review standards, although they were not fully in place at the time of approval for Phase 1 of Camper Village Interim Housing at the end of 2012.

As Richard notes in the staff report, "many aspects of this project have been determined with the prior approval of the Planned Community Zoning Camper Village." This current application now includes a revised Site Plan for the Grand Canyon Camper Village Interim Housing including Phases 1 and 2 (5 pages) dated 1/2/14 and the details for each of the spaces also engineered by Woodson Engineering and Surveying, Inc. (18 pages) dated 1/2/14. These revised development plans address the comments and concerns expressed by some in the community as well as incorporate many of the current design review standards for the Camper Village Interim Housing Development.

A few exceptions granted by the Town Council with the approved PC zoning in the Pre-Annexation Development Agreement (PADA) for Phase 1, which have already been constructed or not, include: 1) gravel roads were permitted rather than asphalt; 2) sidewalks are not required due to the temporary nature of these dwellings; and 3) minimal landscaping was allowed, which Stilo has now agreed to upgrade to meet the 20% standard on each space and proposes to put in a clusters of Aspen and Chinese Elms trees for a green barrier on the southwestern portion of this development. Stilo agreed to put screening around all propane tanks and garbage containers as shown on the C5 details schedule and added parking spaces consistent with town standards, which Richard noted in his report. Further, a six foot cedar fence will be placed along a portion of the south and southwest boundaries (see C3 landscaping plan schedule).

Concerns about drainage were expressed since a significant wash runs through this site with the revised plans showing the flood plain and floodway in relation to the spaces. The revised plans modified some space(s) to insure the building envelopes were outside the floodway and were a minimum of five (5) feet from the floodway. Richard noted that Ted Smith, Coconino County Hydrologist sent a letter in August 2012 indicating, "he has approved the hydrology information submitted for the interim housing at Camper Village." The grading and access plan shows the construction diagram of the roads, which were to match existing elevation, therefore no grading was to occur on this site. Further, Stilo had received flood plain development permits for the twelve (12) spaces in Phase 1, which along with the grading and access plan should show no neighboring properties would be negatively impacted by any of the improvement of this development.

Finally, staff recognizes that there have been a number of questions presented over the past months regarding the Camper Village Interim Housing development. These comments and concerns have been passed onto the developer throughout this process with these revised site plans and space detail plans addressing those technical, aesthetic and procedural issues raised by members of the community. Staff concurs with the recommendations provided by Richard in his staff report and has seen Stilo work with community members and staff in an effort to be responsive to the concerns regarding the Camper Village Interim Housing Development.

TOWN OF TUSAYAN

Contact information
Willdan Engineering

P (480) 766-9567
F (602) 870-7601

E (rturmer@willdan.com)
(rbrooks@willdan.com)

DESIGN REVIEW APPLICATION

APPLICANT

Name Stilo Development USA
Mailing Address 7610 East McDonald Dr., Ste-L
Scottsdale, AZ 85250
Contact Person Robb Baldosky
Phone 928-607-4597 Fax 928-635-4564
Email robb@robbcousa.com

PROPERTY INFORMATION

Assessor's Parcel # 502-17-001P and 502-17-005
Subdivision HES
Unit # _____ Lot # 1P and 5
Address/Location 629 Cougar Dr/ Camper Village
Tusayan, AZ 86023
Zoning PCZ
Existing Land Use Interim Housing
Lot Size 18.06 Acres

DESIGN REVIEW REQUEST

Please provide a detailed description of the proposed development.

Development of Phase I & II Interim Housing
at Camper Village, to include 17 home spaces
on a portion of APN 502-17-001P & APN 502-17-005.
With limited improvements as depicted on the
Site Plan.

SUBMITTAL CHECKLIST:

1. \$400 non-refundable filing fee.
2. Pre-application meeting with Town Planner
3. Electronic copies of site plan, landscape plan, architectural drawings, sign plan, lighting plan and grading and drainage plans.

CERTIFICATION & SIGNATURE

Submittal of this application constitutes consent of the applicant in granting the Department of Community Development access to the subject property during the course of project review. No further consent or notice shall be required.

I hereby certify that the information in this application is correct and agree to abide by the regulations of this jurisdiction.

Signature of Applicant

[Signature] Date 11/27/13
FOR STILO DEVELOPMENT GROUP USA
Signature of Property Owner (if not the applicant)

Date _____

OFFICE USE ONLY

Received By _____ Date _____

Receipt # _____ Fee _____

Case # _____

Related Cases _____

PLANNING & ZONING COMMISSION ACTION

☐ Approved with Conditions (see attachments) ☐ Denied

Action By _____ Date _____

Expiration _____

TOWN OF TUSAYAN

Contact Information
Willdan Engineering

P (480) 766-9567
F (602) 870-7601

E (rturmer@willdan.com)
(rbrooks@willdan.com)

Requirements for Design Review Application

PLANS AND DRAWINGS REQUIRED FOR APPLICATION

An application for Design Review approval requires the submittal of electronic copies of the following plans. Each plan should be scaled and dimensioned. Text should be large enough to be legible in 8 ½ by 11 inch format. Additional full size prints may be required prior to the date of the Commission meeting.

*Site plan detailing property boundaries; existing improvements and uses; and proposed improvements and uses. The site plan shall also indicate the locations of driveways, pedestrian walks, landscape areas, fences, walls, and off-street parking areas including entrances and exits and the direction of traffic flow into and out of off-street parking areas.

*Landscape plan detailing the locations of existing trees (both to be retained and to be removed); the location and design of landscape areas; the number, varieties and sizes of proposed plant materials; and other landscape features including sprinkler and irrigation systems.

*Architectural drawings including floor plans in sufficient detail to permit computation of yard and parking requirements; and elevations of all proposed structures as they will appear upon completion. All exterior surfacing materials and colors shall be specified. Color renderings or paint and material samples are required.

*Sign plan detailing all existing and proposed signs, including their location, size, materials, color and method of illumination.

*Lighting plan including location of all outdoor lighting fixtures and description of each (i.e. lamp type, lumen output, shielding).

*Grading and drainage plans.

*Any other plan as determined by the Town Manager.

PUBLIC MEETING – PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission meets regularly. Applicants will be notified by phone, mail or e-mail of meeting dates, times and places. An incomplete application may delay the scheduling of a meeting. The action of the Planning and Zoning Commission on a Design Review application is final unless an appeal is filed with the Town Council within 15 days of Commission action.

June 30, 2011

Town of Tusayan
c/o LVA Urban Design Studio
attn: Mark Reddie, Planning Team Leader
120 South Ash Avenue
Tempe, Arizona 85281-2801

RE: Camper Village Authorization - Coconino County Parcel Numbers 502-17-002-K (Lot 2K),
502-17-001-P (Lot 1P) and 502-17-005 (Lot 5)

Mr. Reddie:

The purpose of this letter is to formally authorize the firms and individuals identified below to file and process all necessary applications, including but not limited to: a conditional use permit for model homes / community outreach office at Camper Village and a zone change application, that may be related to securing the entitlements for a mixed-use development on behalf of the property owner of the above referenced parcels.

- Stilo Development Group USA, an Arizona Limited Liability Company, including but not limited to its representatives, Vittorio Bianchi, Federico Pelliccioli and Thomas De Paolo:
- The law firm of Gammage & Burnham P.L.C., including but not limited to its representatives, Grady Gammage, Manjula Vas and Rob Lane:
- The site and landscape design firm of Design Workshop, including but not limited to its representatives, Kurt Culbertson and Suzanne Richman: and,
- The public works, water resources, site development and cost estimating firm of Vantage Resources.

Logan-Luca, LLC has the development rights for Lots 1P and 2K and Tusayan Ventures, LLC has the development rights for Lot 5. All referenced parcels are fully described in Exhibit A enclosed with this authorization.

Sincerely,

Logan-Luca, an Arizona Limited Liability
Company

By 

Its Member

Tusayan Ventures, an Arizona Limited Liability
Company

By Federico Pelliccioli

Its MEMBER

From: "Smith, Ted" <TSmith@coconino.az.gov>

Subject:

Date: August 14, 2012 2:16:44 PM MST

To: Rick Schuller <rschuller@woodsoneng.com>, Larry Hostetler <larryh@robbcousa.com>, "Pratt, Sue" <spratt@coconino.az.gov>

Cc: Robb Baldosky <robb@robbcousa.com>, "Kearly, Mike" <mkearly@coconino.az.gov>, "Ebers, Jon" <jebers@coconino.az.gov>

8/14/12

To All:

With the SWPPP, copy of the NOI, additional plan sheets, and commitment to a sentence change of page 11 of the SWPPP, I have completed my review of the floodplain delineation report and the requested SWPPP/stormwater information. All requested additional information has been satisfactorily provided. This email constitutes my hydrology approval of the floodplain delineation report and the SWPPP in support of the Grand Canyon Camper Village development as proposed.

Ted Smith, CFM, RG
Coconino County Hydrologist

June 30, 2011

Town of Tusayan
c/o LVA Urban Design Studio
attn: Mark Reddie, Planning Team Leader
120 South Ash Avenue
Tempe, Arizona 85281-2801

RE: Camper Village Authorization – Coconino County Parcel Numbers 502-17-002-K (Lot 2K),
502-17-001-P (Lot 1P) and 502-17-005 (Lot 5)

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- The public works, water resources, site development and cost estimating firm of Vantage Resources.

Logan-Luca, LLC has the development rights for Lots 1P and 2K and Tusayan Ventures, LLC has the development rights for Lot 5. All referenced parcels are fully described in Exhibit A enclosed with this authorization.

Sincerely,

Logan-Luca, an Arizona Limited Liability
Company



Its Member

Tusayan Ventures, an Arizona Limited Liability
Company

By Federico Pellicoli

Its MEMBER

CAMPER VILLAGE INTERIM HOUSING

SITE PLAN REVIEW COMMENTS

11-20-13

These are comments on plans entitled "Grand Canyon Camper Village Temporary Housing Construction Plans" consisting of sheets C-1 through and including C-7, dated revised 8/29/12 and 9/6/12 and "Camper Village - Lot Exhibits" consisting of 13 sheets dated 11/14/12 and 1/8/13.

These plans were filed with the Town by the applicant for the purpose of securing official approval by the Town of plans for the existing and proposed interim housing at Camper Village.

These plans were reviewed against the applicable requirements of Sections 13.1 (Manufactured Home Park) and 13.10 (Design Review) of the Zoning Ordinance. The approval of PCD zoning for Camper Village in 2011 established some exceptions from compliance with certain requirements of Section 13.1.

1. If this is an application for plan approval, then I suggest a formal application and filing fee be submitted.
2. Clearly show which part of the Camper Village property is the subject of this application on all plans that include the site.
3. The area of this application should show the total number of spaces proposed. The first amendment states up to 33 spaces for single or double wide manufactured home spaces would be allowed. The first amendment does not refer to park models and I assume they are not permitted. Please remove the Park Model typical from the plan (C-3).
4. Correct the references to future units on sheet C-3 as these exceed the allowed number of units.
5. The arrangement of spaces on sheets C-1, C-3, C-4, C-5 and C-7 does not reflect the space configurations shown on the lot exhibits. Please correct the "C" sheets.
6. Adequate information has been provided for spaces 1 through 12. Please provide space dimensions, setbacks, parking spaces and building envelopes for the remaining spaces.
7. Any items that are not shown on the plans but are in the legend (C-1) should be removed from the legend.
8. It is too difficult to distinguish between existing and proposed structures based on the shading used in the legend on sheet C-1. Please revise to make this clearer.
9. Clearly show the locations of the six existing units on an exhibit that also shows building envelopes and parking spaces.
10. Provide a table that lists each space by number with the space size and size of the building envelope. Indicate the number of spaces per acre.

11. Please screen all propane tanks and show in a "typical" how this will be done. (Section 13.1-7.A)
12. Is there any outdoor lighting existing or proposed for the area? A symbol for an outdoor light is shown in the legend, but I could not find the symbol on the plans. If lighting is proposed, please note the location, type (including lamp information) and height on the plans.
13. I found the location of one fire hydrant on the plan. Please submit a letter from the fire department concurring in the number and location of hydrants for this park.
14. How will the residents know where the edges of the streets are if the streets are not paved? How will they know where to park? Is there any inexpensive colored material that could be placed on the streets/parking areas to aid in their identification? If so, I recommend using it.
15. Please add to the plan a note on skirting as stated in Section 3.1-6 (B)(10) of the Zoning Ordinance.
16. Continue the directional traffic arrows into the subject area on sheet C-7.
17. On the individual space detail sheets, show parking spaces wholly within the spaces they serve and outside of the building envelopes.
18. Please try to make space lines coincide with street lines to the extent possible. Avoid having the street within the space (Space 2).
19. All parking spaces should measure 18 feet by 9 feet minimum. Please check the plans in this regard.
20. The detail for lot (space) 2 does not appear to be to scale. Please check this and others to be sure they are to scale.
21. Some lots (spaces) appear too small for single wide units. Please check spaces 4 and 5.
22. Consistent with the Design Review standards, please indicate the type of siding that will be used on the units. Also indicate the optional colors that will be used and provide a colored exhibit that displays this information. Include the type and color of roofing material. Use more than one color for each housing unit (a trim color).
23. Continuing with Design Review comments: note the minimum allowed slope of the roofs (no flat roofs) and note the minimum eave width (I recommend 2 or 3 feet). I suggest covered entries and the use of some faux stone on the facades.
24. What is the purpose of the drive between spaces 10 and 11? If this is an access drive, the setbacks to the units on the adjacent spaces should be 10 feet.
25. I believe there is room to provide guest parking. I recommend one guest space for every 4 manufactured home spaces. These should not be provided on manufactured home spaces and can be located in groups throughout the site.

26. Note that the minimum unit size shall be 400 square feet.

27. Submit a landscape plan that reflects Ordinance requirements (20 % of each space including 1-5 gallon tree/space). (Section 13.1-6(B)(5)).

PORTION OF SECTION 26, TOWNSHIP 30 NORTH, RANGE 2 EAST,
GILA AND SALT RIVER MERIDIAN,
TOWN OF TUSAYAN, COCONINO COUNTY, ARIZONA

ENGINEERING AND SURVEYING, INC.

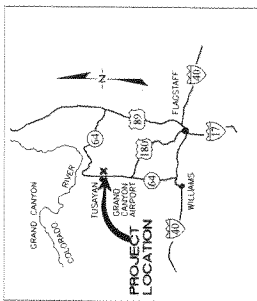
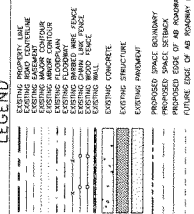
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

SHEET INDEX

- | | |
|---|------------------|
| 1 | COVER SHEET |
| 2 | SITE PLAN |
| 3 | ACCESS PLAN |
| 4 | LANDSCAPING PLAN |
| 5 | DETAILS |

CALL 1-800-888-0475
EXTENDING YOUR DAY
1-800-STAKE-IT
1-800-762-5346
(OUTSIDE MARICOPA COUNTY)



VICINITY MAP - TUSAYAN, AZ
NOT TO SCALE

DEVELOPMENT NOTES

THIS PLAN COVERS THE DESIGN REVIEW FOR PHASE 1 AND 2.

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDON ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4656 FAX: (928) 774-4646

GRAND CANYON CAMPER VILLAGE
TUSAYAN, ARIZONA

LOGAN LUCA LLC
12515 Willows Rd., Suite 200, Kirkland, WA 98034

12515 Willows Rd., Suite 200, Kirkland, WA 98034

INTERIM
HOUSING
PHASE 1 AND 2
SITE PLAN

JOB NO.	12658
DATE	7/26/12
REVISIONS	96/12
	12/8/13
	1/2/14

SHEET NO.

COVER SHEET

15

CONSTRUCTION NOTES
PRIVATE IMPROVEMENTS

- (301) REACH AND SURFACE ROADS WITH A.B.C. PER SECTION DETAIL ON SHEET 3.
- (302) CONSTRUCT A.B.C. DUMPSITE AND 6" CEDAR WOOD FENCE ENCLOSURE. SEE SHEET 5 FOR DETAILS.

SPACE #	SPACE SIZE	SIZE OF BUILDING ENVELOPE
1	50'x10'	50'x10'
2	50'x10'	50'x10'
3	50'x10'	50'x10'
4	50'x10'	50'x10'
5	50'x10'	50'x10'
6	50'x10'	50'x10'
7	50'x10'	50'x10'
8	50'x10'	50'x10'
9	50'x10'	50'x10'
10	50'x10'	50'x10'
11	50'x10'	50'x10'
12	50'x10'	50'x10'

12 UNITS PER 4.08 ACRES = 2.94 UNITS/ACRE

5 UNITS PER 1.2 ACRES = 3.33 UNITS/ACRE

PHASE 2	9275	840
14	2988	3605
15	3835	2100
16	4875	2281

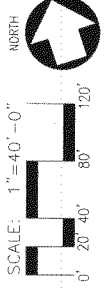
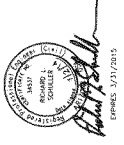
WOODSON
 ENGINEERING AND SURVEYING, INC.
 12515 WILLOWS RD., SUITE 200, KIRKLAND, WA 98034
 PHONE: (206) 922-1515 FAX: (206) 922-1516

GRAND CANYON CAMPER VILLAGE
 TUSAYAN, ARIZONA
LOGAN LUCA LLC
 12515 WILLOWS RD., SUITE 200, KIRKLAND, WA 98034

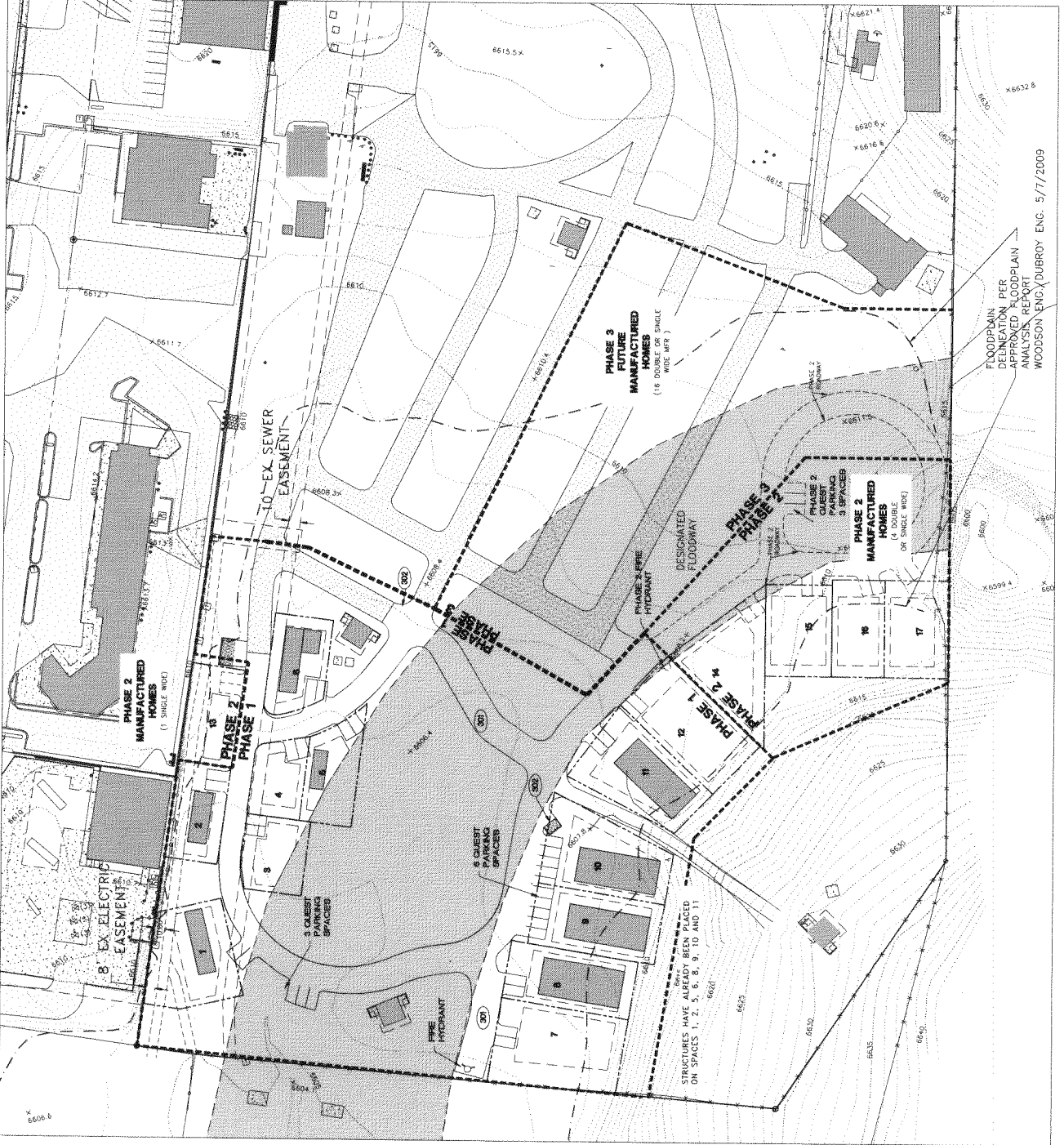
INTERIM HOUSING PHASE 1 AND 2 SITE PLAN

DATE	11/25/08
REVISIONS	9/26/12 12/28/13 1/2/14
SHEET NO.	

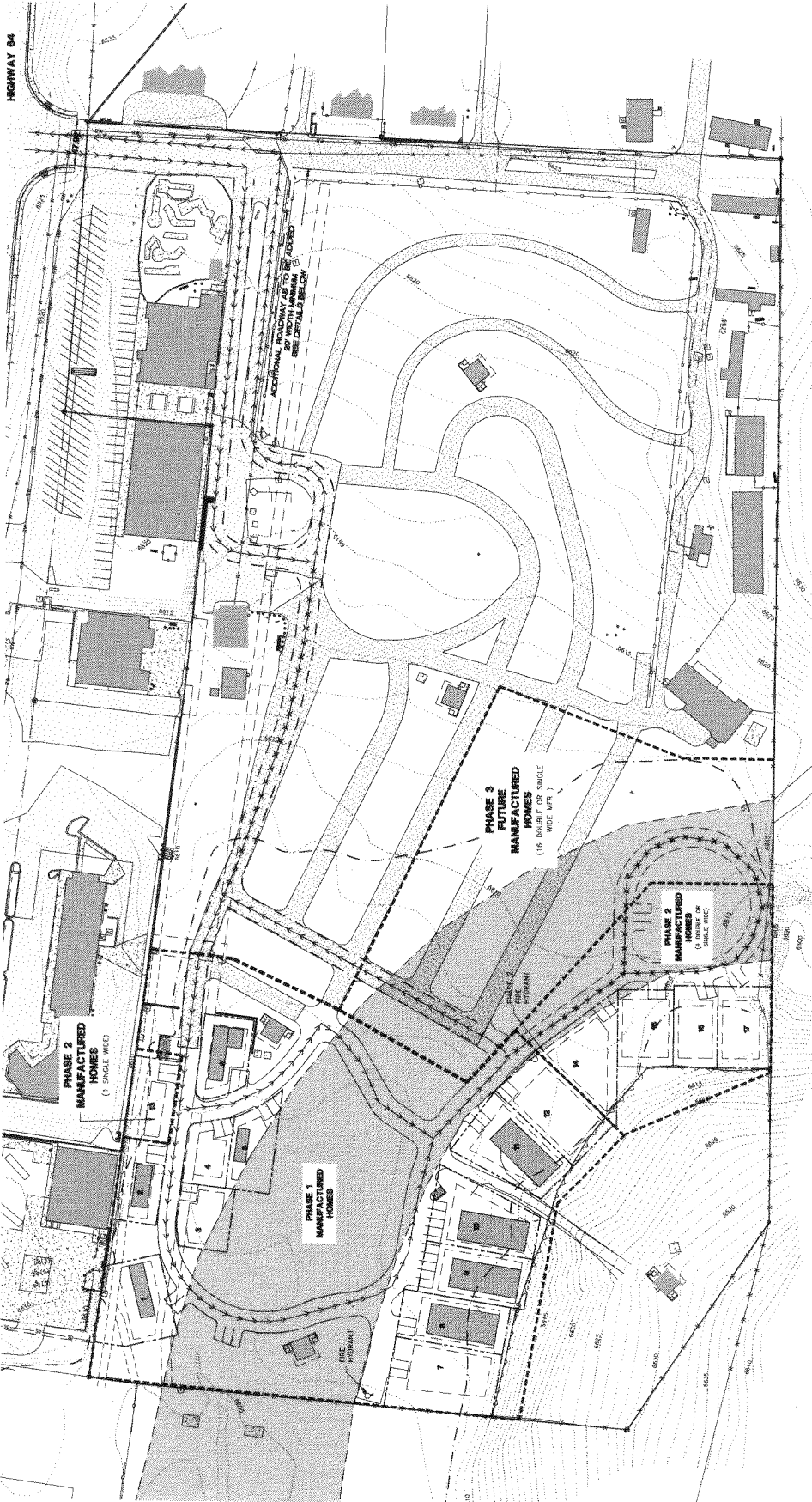
C2



SITE PLAN



FLOODPLAIN PER DELINEATION PER APPROVED FLOODPLAIN ANALYSIS REPORT WOODSON ENG. 5/17/2009



WOODSON
ENGINEERING AND SURVEYING, INC.
11501 N. 72nd Ave.
Suite 100
Phoenix, AZ 85028
Phone: (602) 774-4444 FAX: (602) 774-4444

GRAND CANYON CAMPER VILLAGE
TUSAYAN, ARIZONA
LOGAN LUCA LLC
12515 Willows Rd., Suite 200, Kirkland, WA 98034

INTERIM HOUSING PHASE 1 AND 2
SITE PLAN

JOB NO.	112658
DATE	7/26/12
DESIGNED BY	9/6/12
CHECKED BY	12/8/13
DATE	12/14
SHEET NO.	

C3

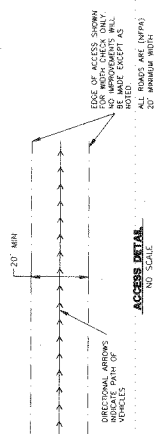
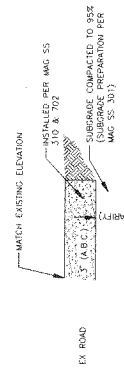
ACCESS PLAN

SCALE: 1" = 50' - 0"

0' 25' 50' 100' 150'

NORTH

WOODSON
ENGINEERING AND SURVEYING, INC.
11501 N. 72nd Ave.
Suite 100
Phoenix, AZ 85028
Phone: (602) 774-4444 FAX: (602) 774-4444



TYPICAL ACCESS WIDENING SECTION
NO SCALE

ACCESS DETAIL
NO SCALE

ORDINANCE REQUIREMENTS: 1.3.1-6 (B) (5) NOT LESS THAN 20% OF EACH INER HOME SPACE SHALL BE LANDSCAPED, INCLUDING ONE TREE (MINIMUM FIVE-GALLON SIZE) ON EACH SPACE. CREDIT WILL BE GIVEN FOR EXISTING LANDSCAPING.

PHASE 1: 11 - TOTAL 17 SPACES \approx 1PU PER SPACE.

PHASE I & II (17) SPACES = 17 PU TOTAL

NOTE:

* THERE ARE 33 EACH EXISTING PONDICOSA PINES LOCATED IN THE DEVELOPMENT AREA.

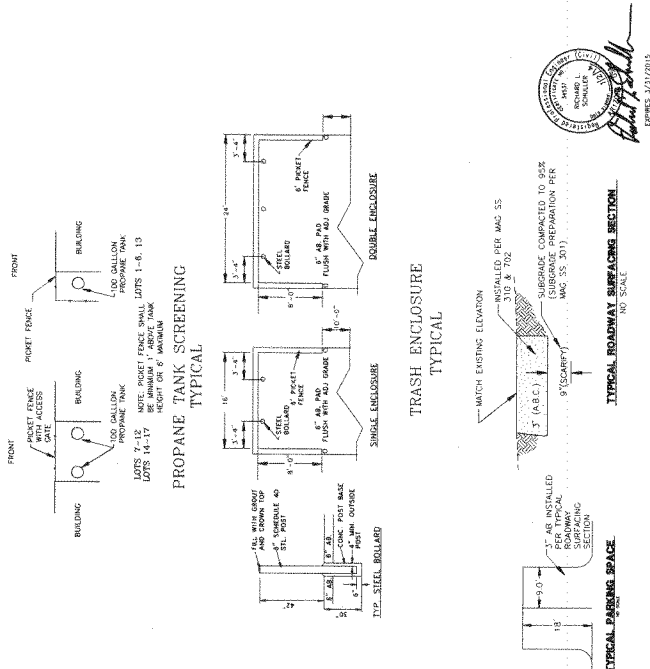
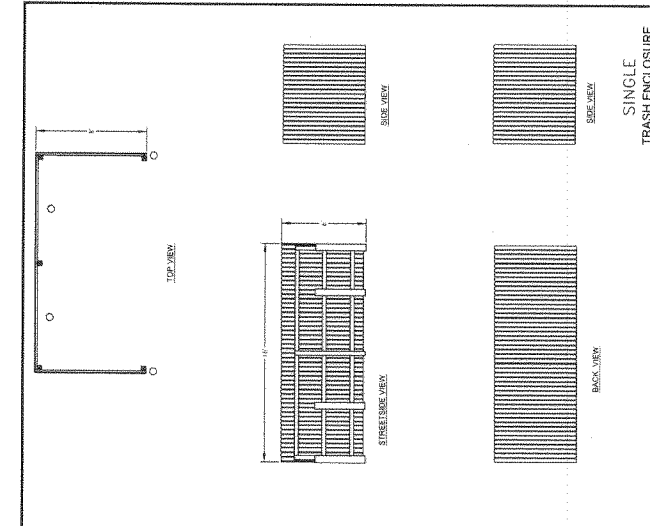
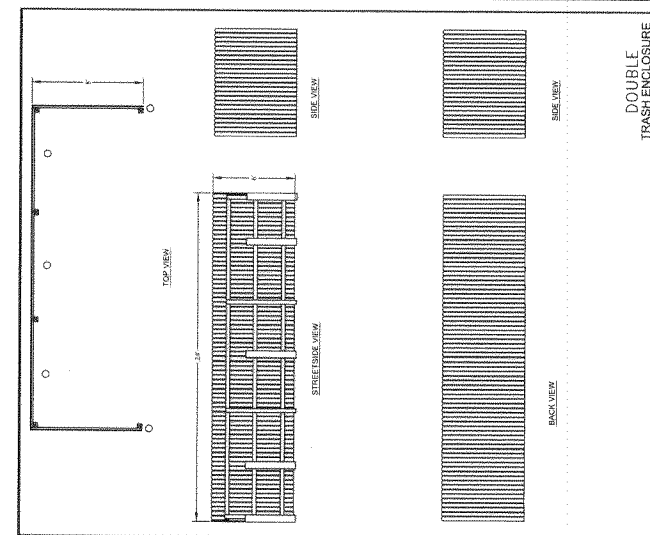
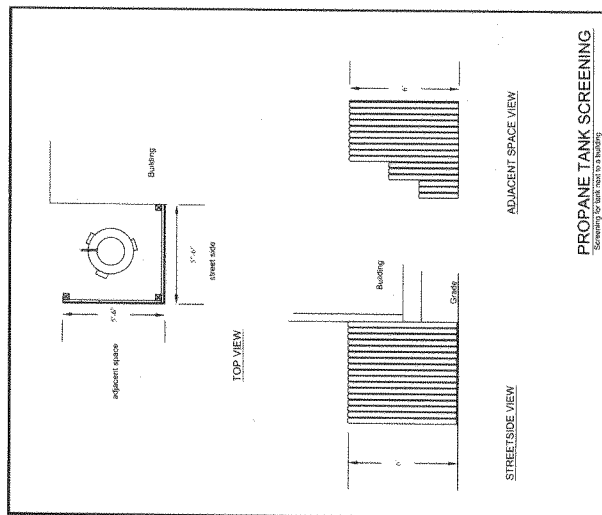
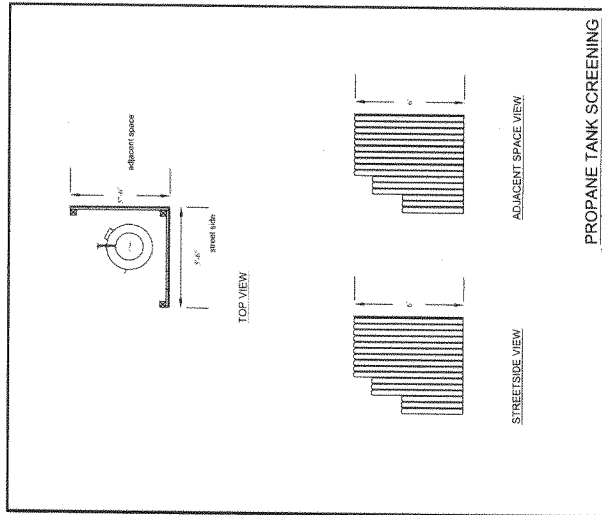
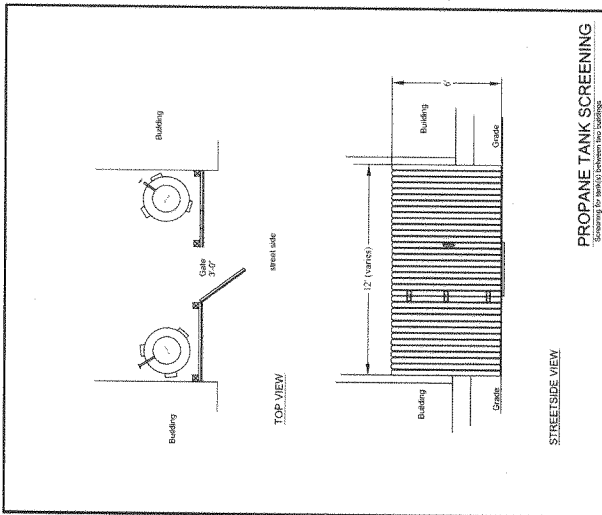
Symbol	Common Name	Botanical Name	Size	Qty.
	TRAIL INDICATOR KIT	TRAIL INDICATOR	10"	10
	PARADE CARD HOLDER	PARADE CARDS	5 1/2"	10
	CORNER KIT	1/4" X 1/4" CORNER KIT	5"	5
	SHRUBS MARKERS	1/4" X 1/4" MARKERS	1 1/2"	10
	MARKERS GROUP	1/4" X 1/4" MARKERS	1 1/2"	10
	1/4" X 1/4" MARKERS	1/4" X 1/4" MARKERS	1 1/2"	10
GROUND COVER				1/4" X 1/4"

C4

12515 Willows Rd., Suite 200, Kirkland, WA 98034

INTERIM
HOUSING
PHASE 1 AND 2
SITE PLAN

JOE NO.	112658
DATE	12/8/13
REVISIONS	1/2/14



GRAND CANYON CAMPER VILLAGE
TUSAYAN, ARIZONA

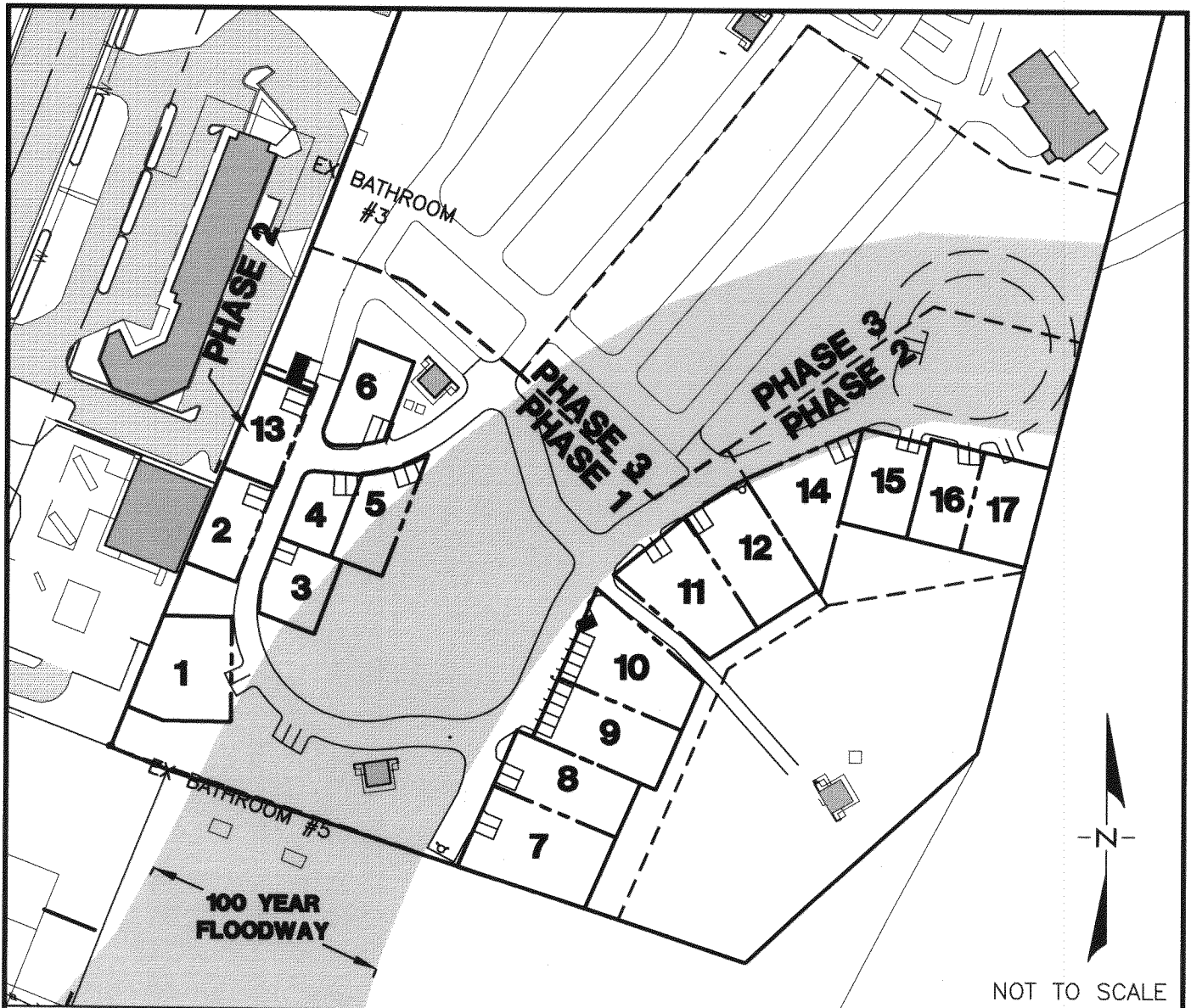
LOGAN LUCA LLC
12515 Willows Rd., Suite 200, Kirkland, WA 98034

INTERIM
HOUSING
PHASE 1 AND 2
DETAILS

JOB NO.	112658
DATE	7/26/12
REVISIONS	
	9/06/12
	12/8/13
	1/2/14

SHEET NO.

5



LEGEND

- SPACE BOUNDARY
- - - SETBACK
- EDGE OF GRAVEL ROAD
- - - EXISTING EASEMENT
- +—+— WATERLINE (NUMBER INDICATES DIAMETER)
- +—+— SEWERLINE (NUMBER INDICATES DIAMETER)
- [E] ELECTRICAL PEDESTAL
- [W] WATER METER
- [S] SEWER CLEAN OUT



Alicia Stoffers

EXPIRES 9/30/2014

DRAFTED BY: AAS

DATE: 1/2/14

PROJ. NO.: 112658

FN: SPACE EXHIBITS

WOODSON

ENGINEERING AND SURVEYING, INC.

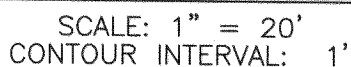
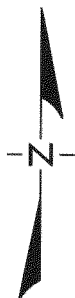
124 N. ELDEN ST.

FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
INTERIM HOUSING
SPACES 1-17

CAMPER VILLAGE
SPACE 1



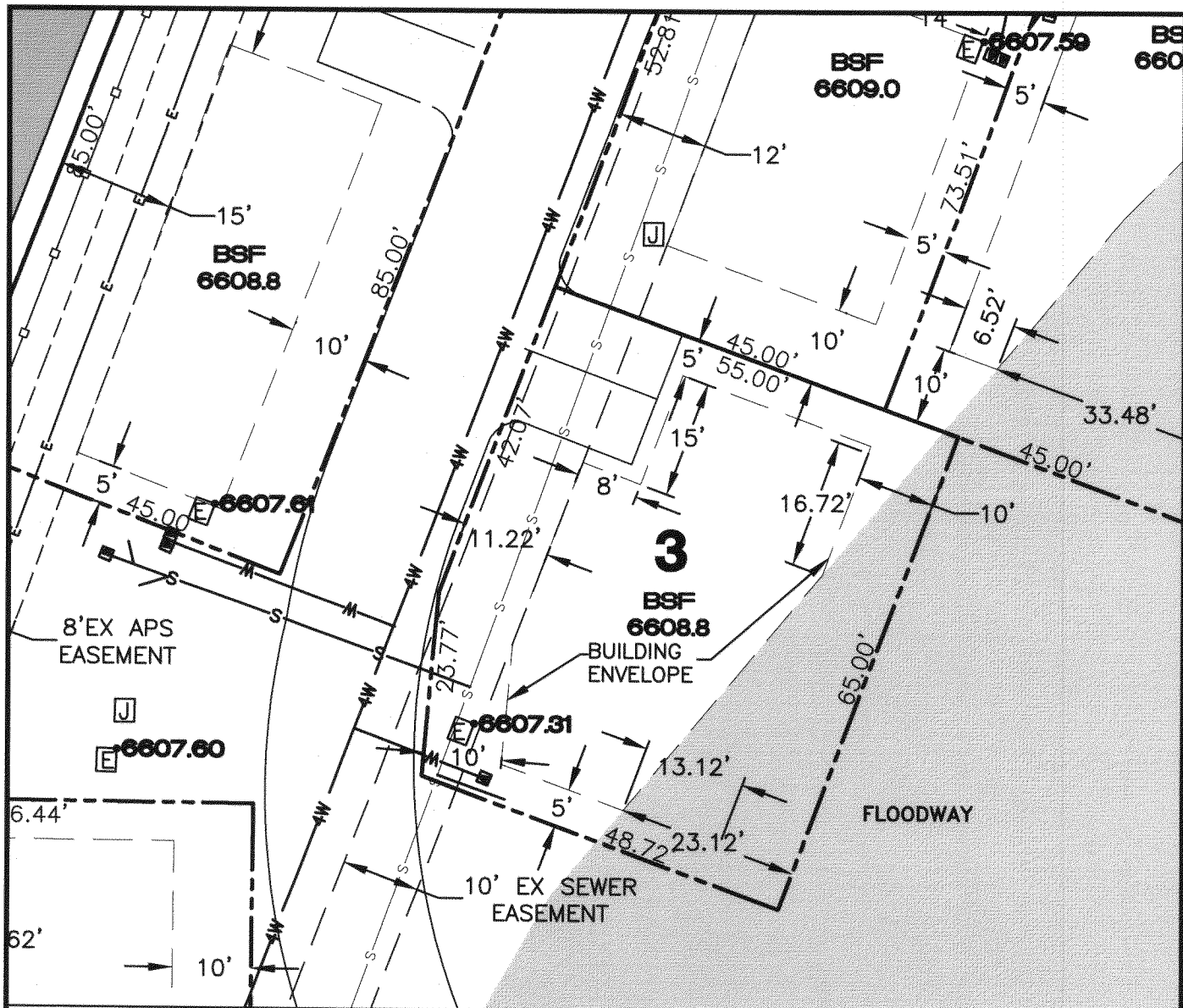
THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING UTILITY LINE OR WITHIN THE FLOODWAY.

FN: SPACE EXHIBITS

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 2



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING UTILITY LINE OR WITHIN THE FLOODWAY.

DRAFTED BY: AAS
DATE: 1/2/14
PROJ. NO.: 112658
FN: SPACE EXHIBITS

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
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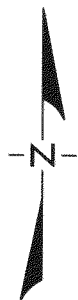
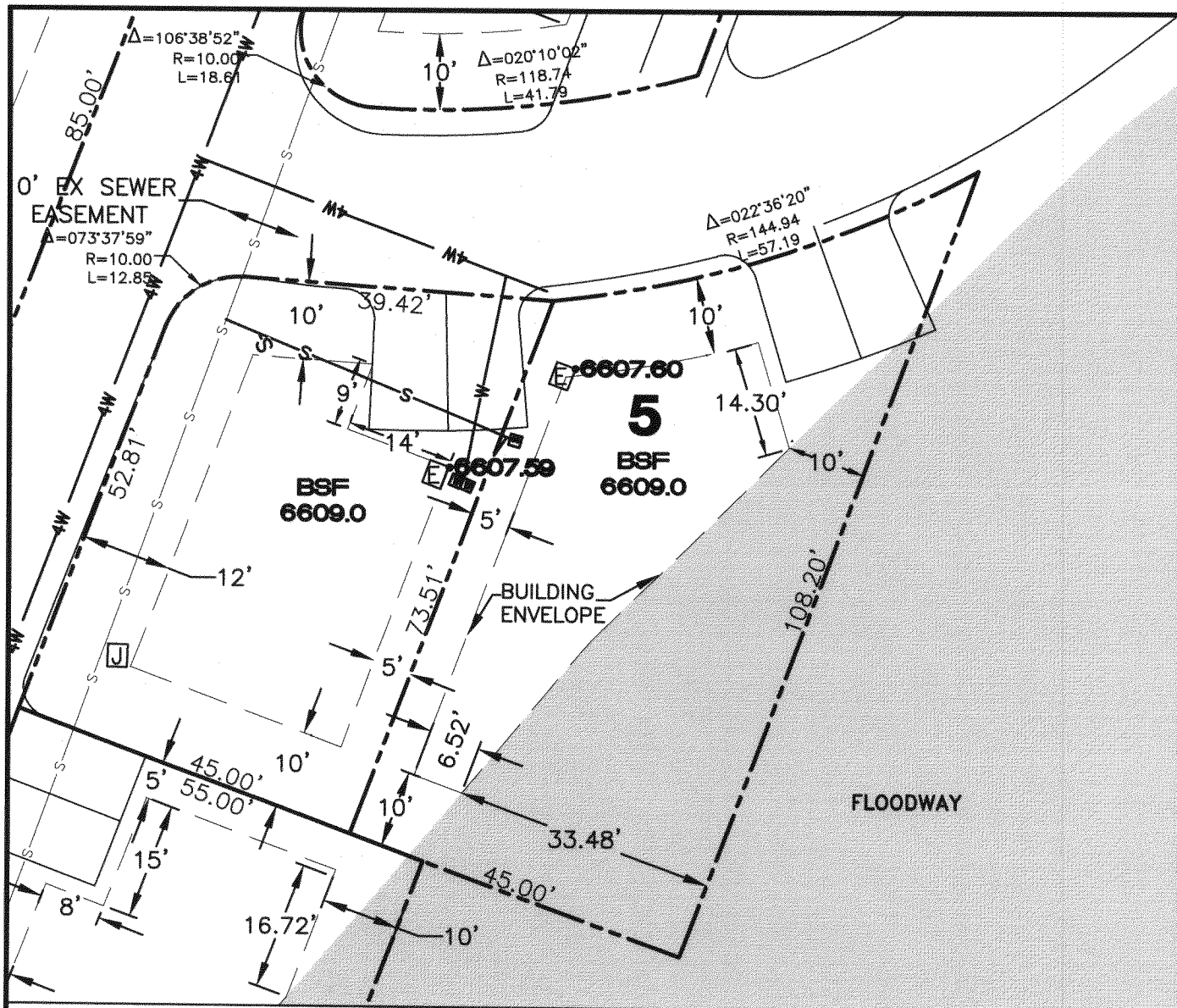
CAMPER VILLAGE
SPACE 3



THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING
UTILITY LINE OR WITHIN THE FLOODWAY.

CAMPER VILLAGE
SPACE 4



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

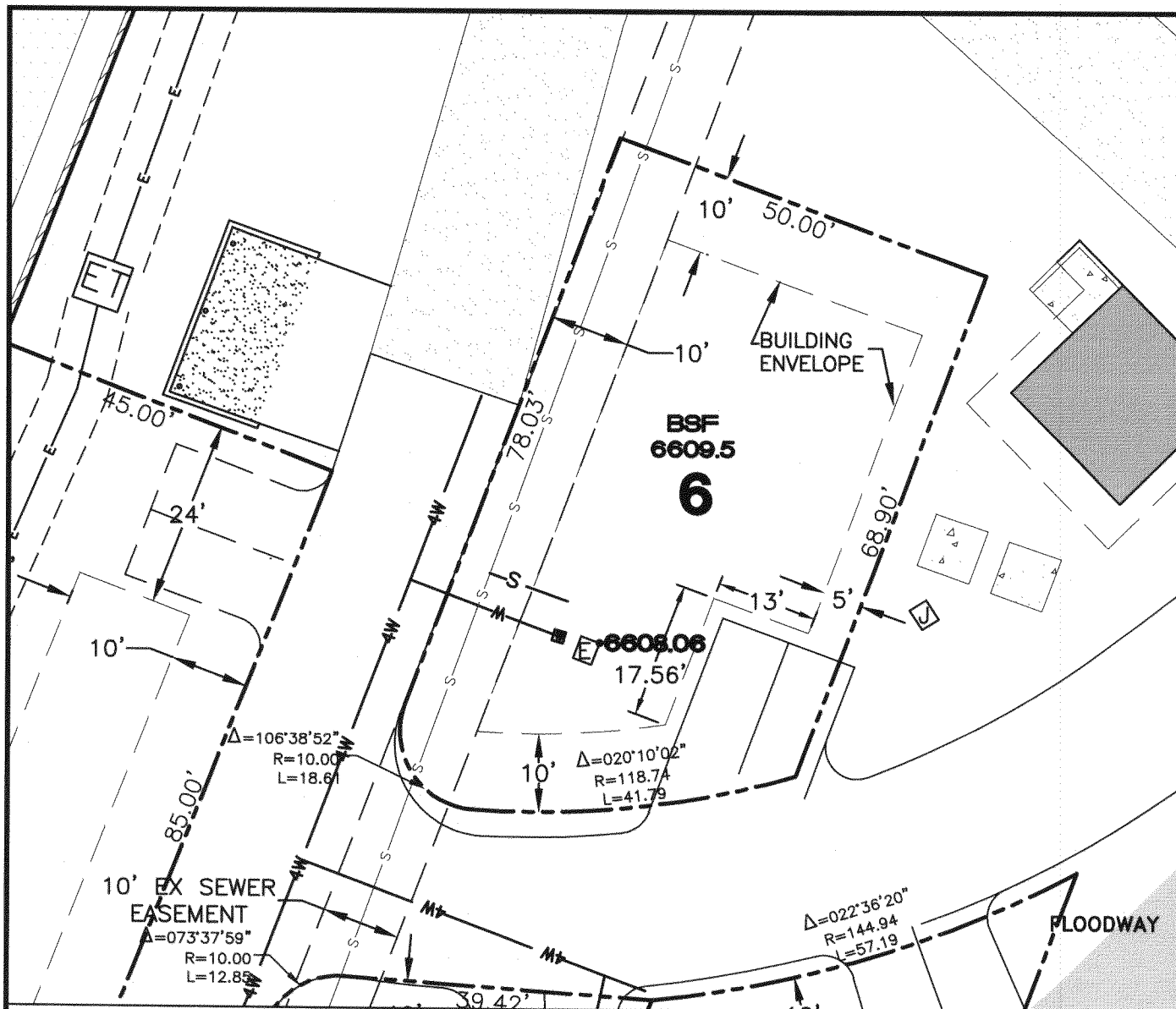
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DRAFTED BY: AAS
DATE: 1/2/14
PROJ. NO.: 112658
FN: SPACE EXHIBITS

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 5



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

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BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING UTILITY LINE OR WITHIN THE FLOODWAY.

DRAFTED BY: AAS

DATE: 1/2/14

PROJ. NO.: 112658

FN: SPACE EXHIBITS

WOODSON

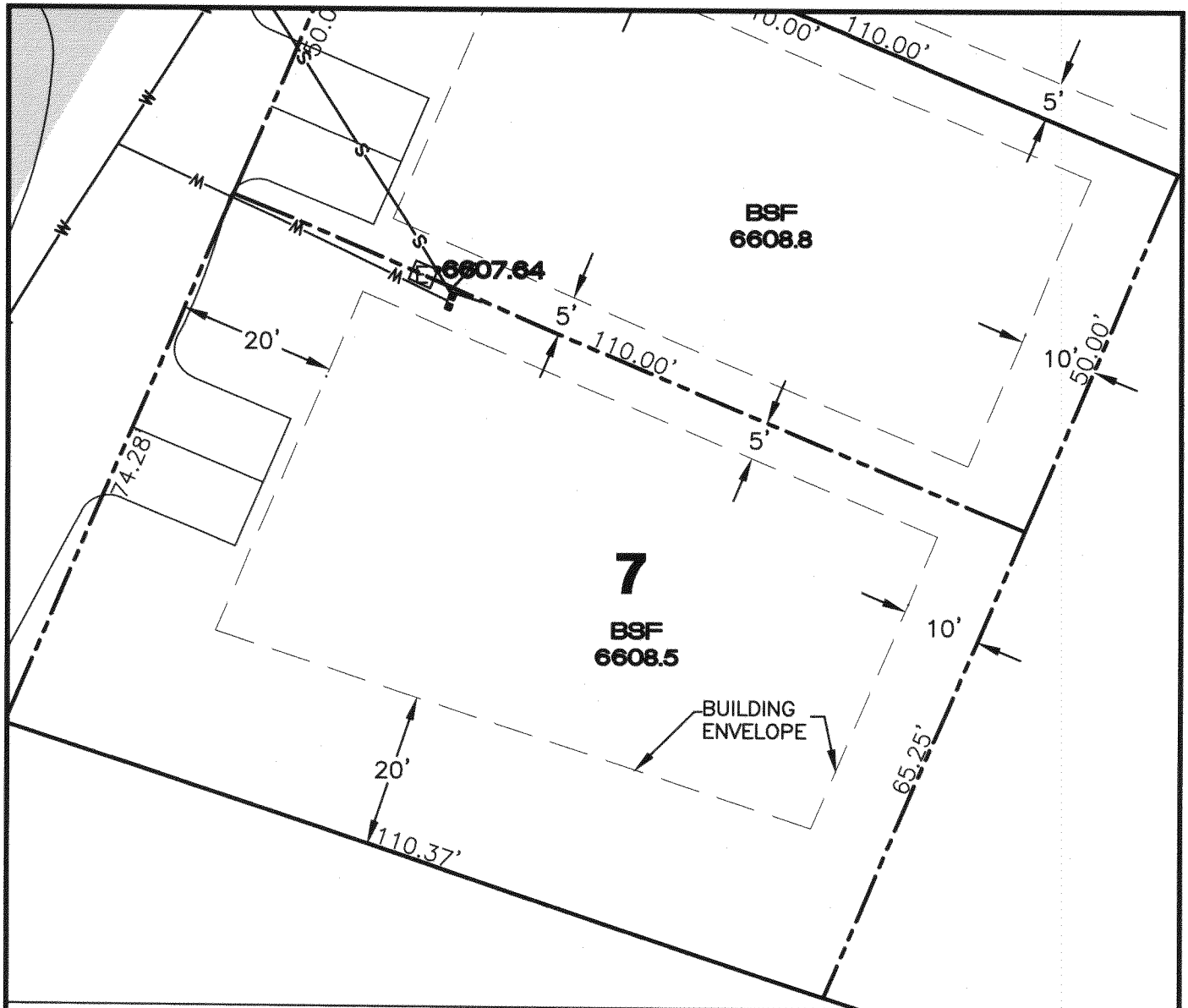
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.

FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 6



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

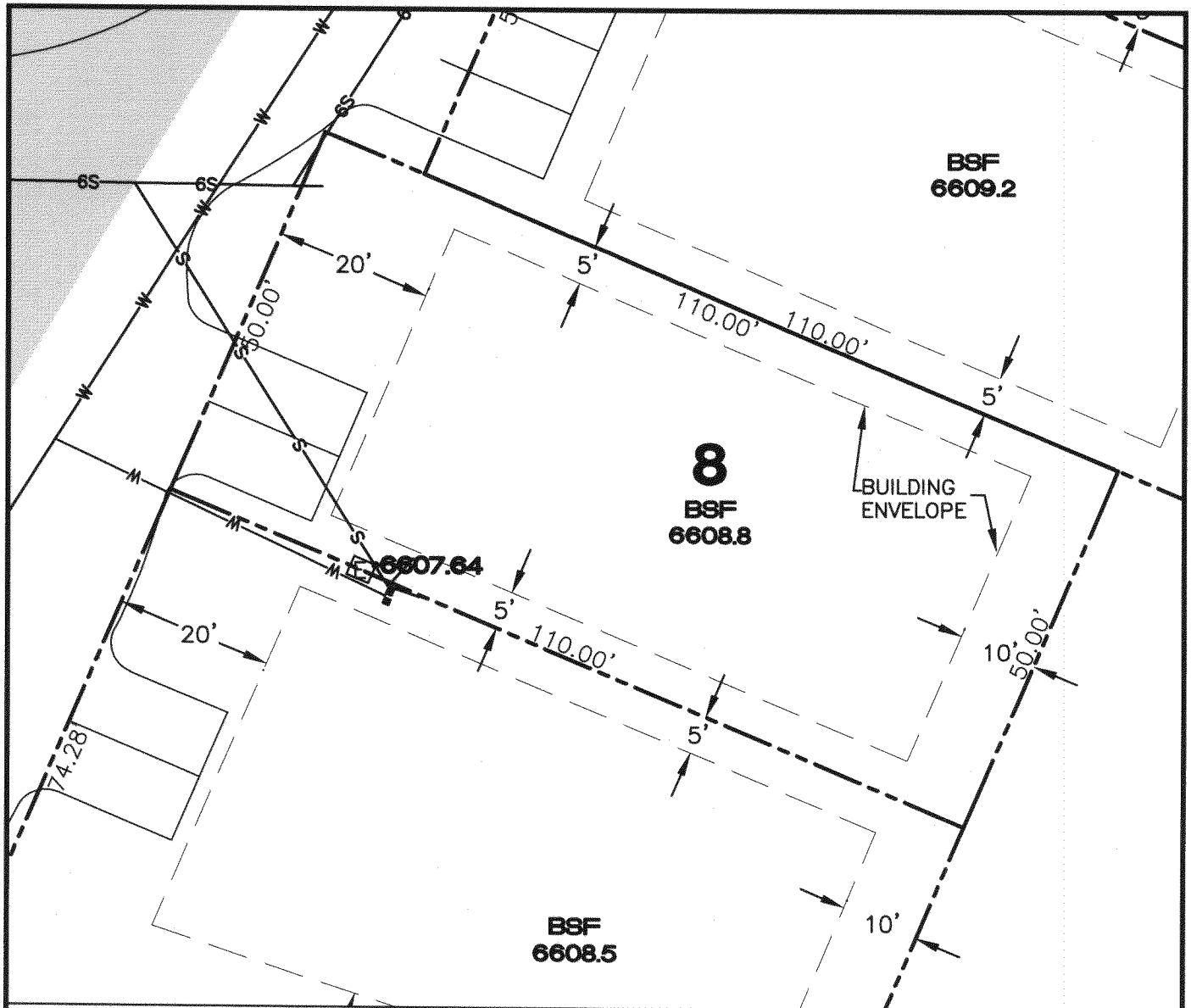
THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING UTILITY LINE OR WITHIN THE FLOODWAY.

DRAFTED BY: AAS
DATE: 1/2/14
PROJ. NO.: 112658
FN: SPACE EXHIBITS

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

**CAMPER VILLAGE
SPACE 7**



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

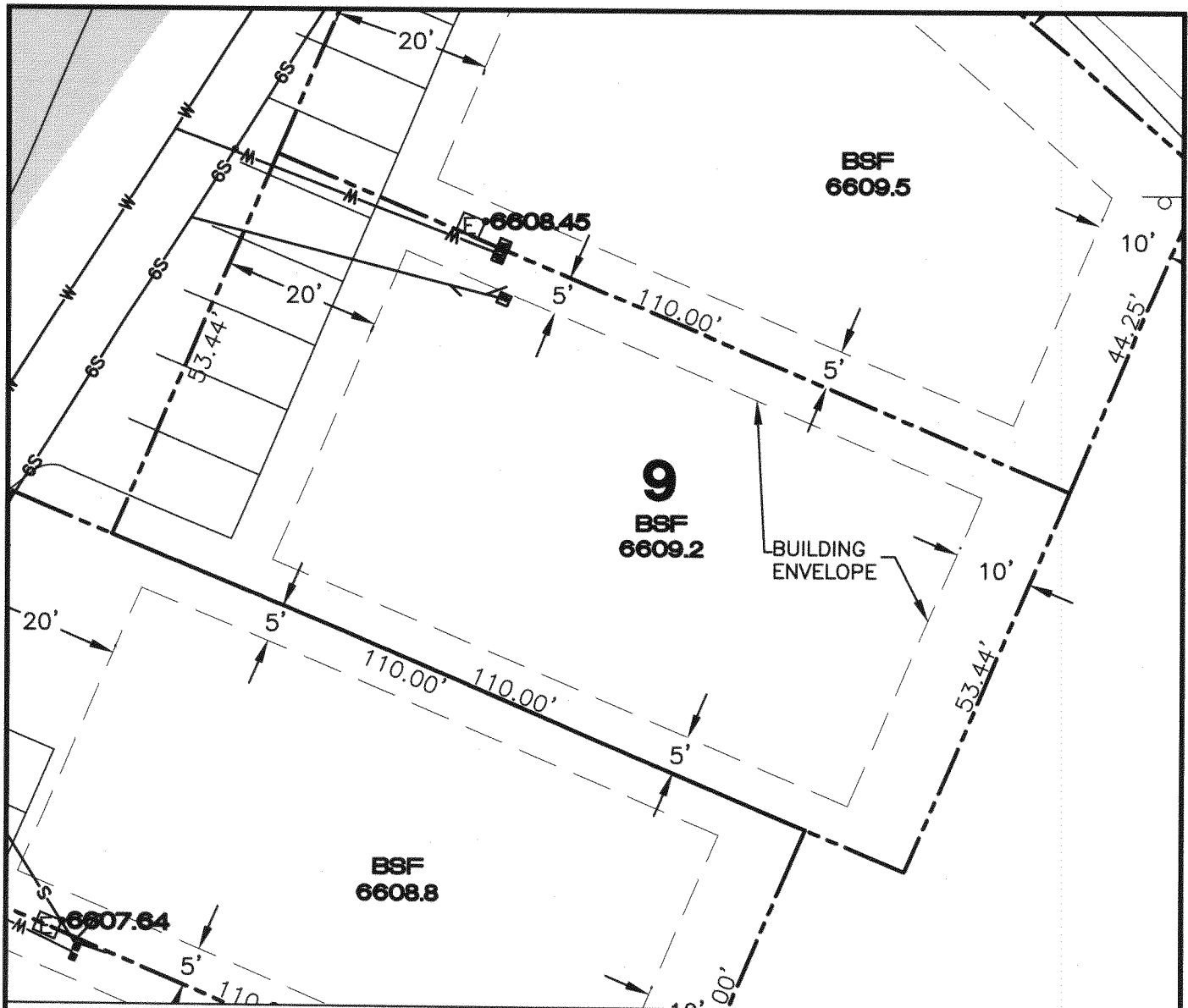
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124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 8



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

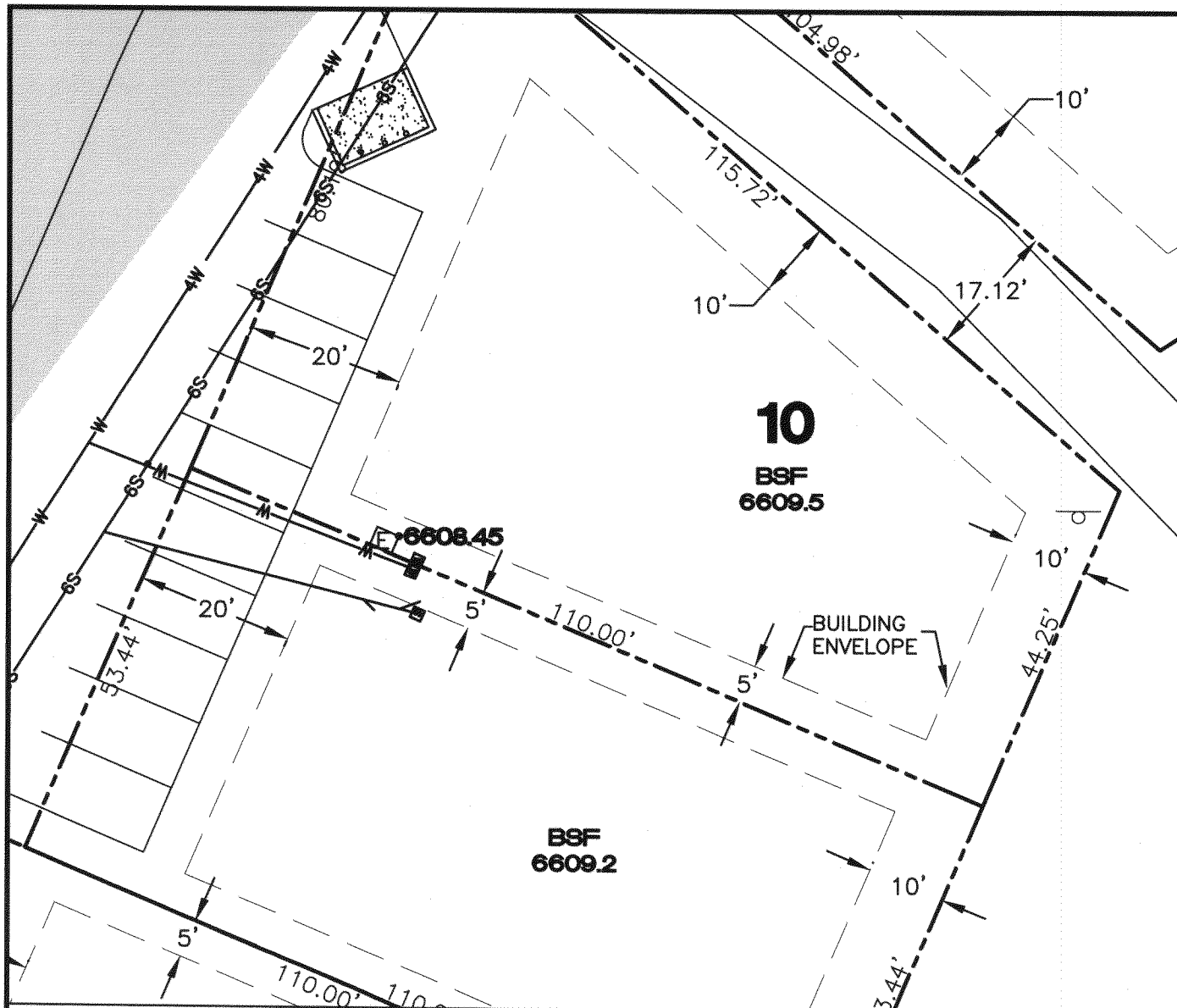
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WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 9



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

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DRAFTED BY: AAS

DATE: 1/2/14

PROJ. NO.: 112658

FN: SPACE EXHIBITS

WOODSON

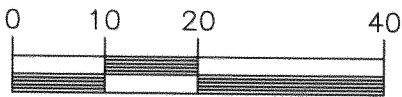
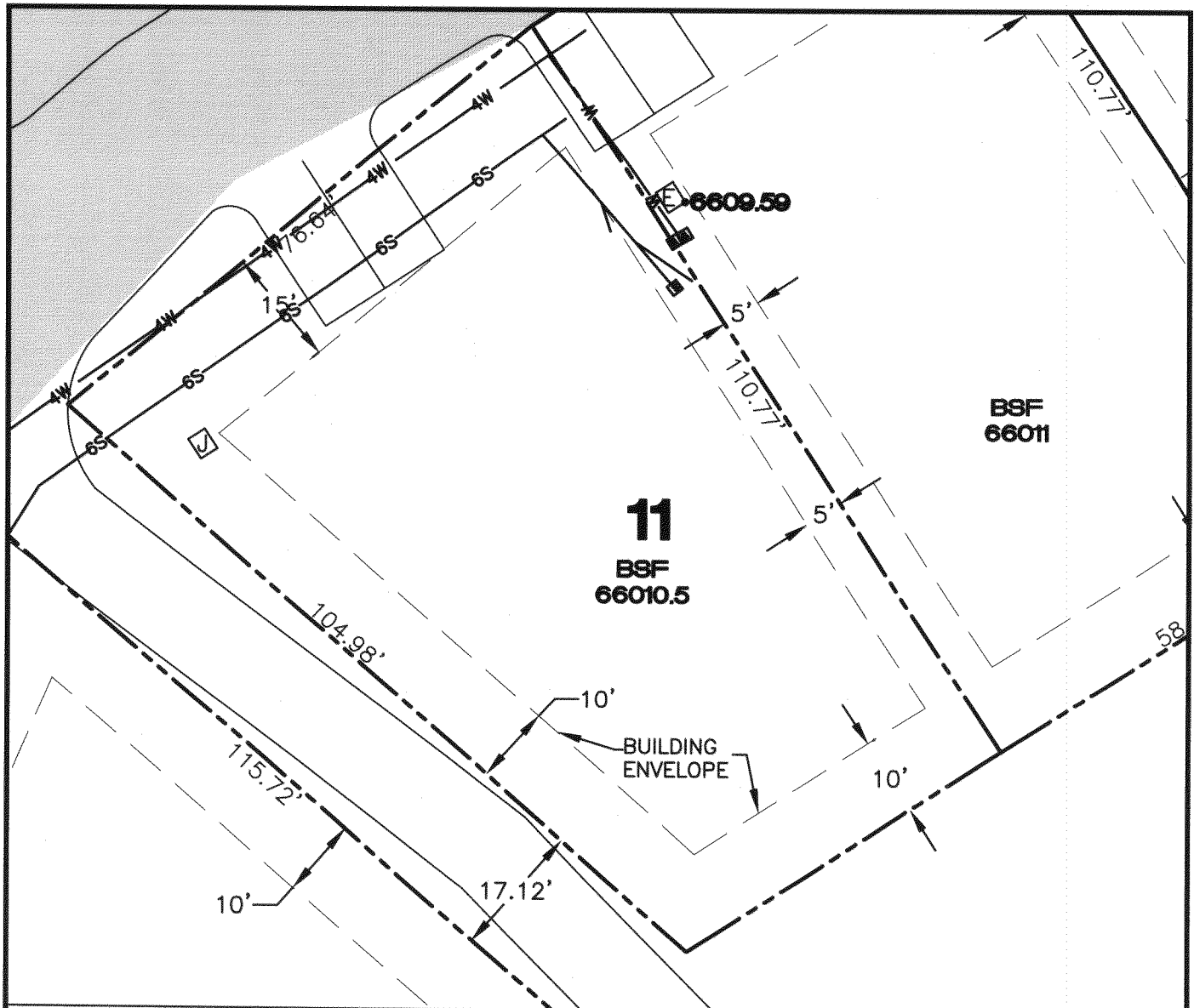
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.

FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 10



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:

THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

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DRAFTED BY: AAS

DATE: 1/2/14

PROJ. NO.: 112658

FN: SPACE EXHIBITS

WOODSON

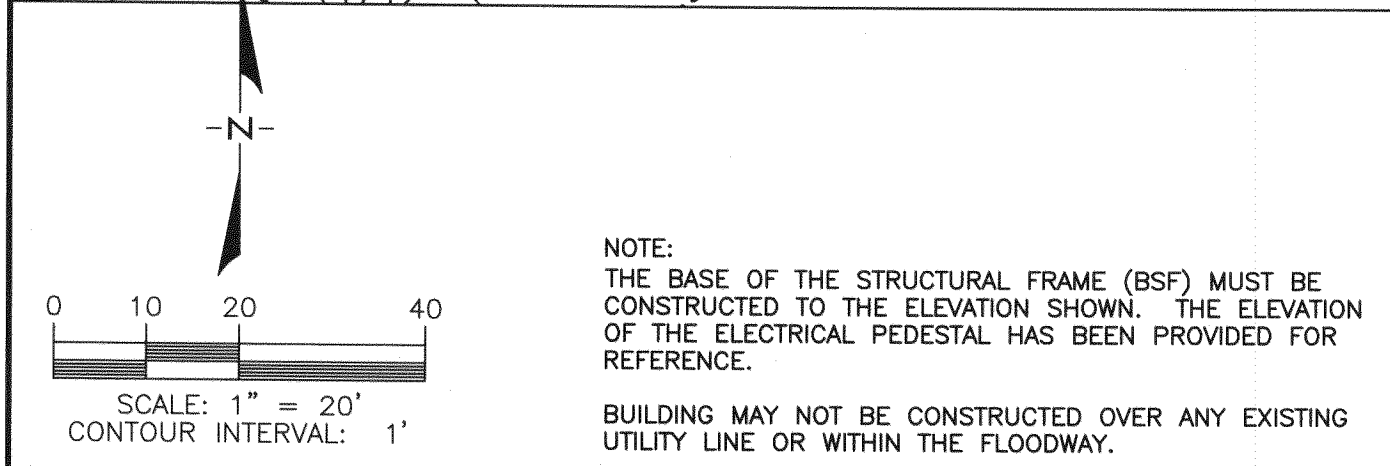
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.

FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 11



THE BASE OF THE STRUCTURAL FRAME (BSF) MUST BE CONSTRUCTED TO THE ELEVATION SHOWN. THE ELEVATION OF THE ELECTRICAL PEDESTAL HAS BEEN PROVIDED FOR REFERENCE.

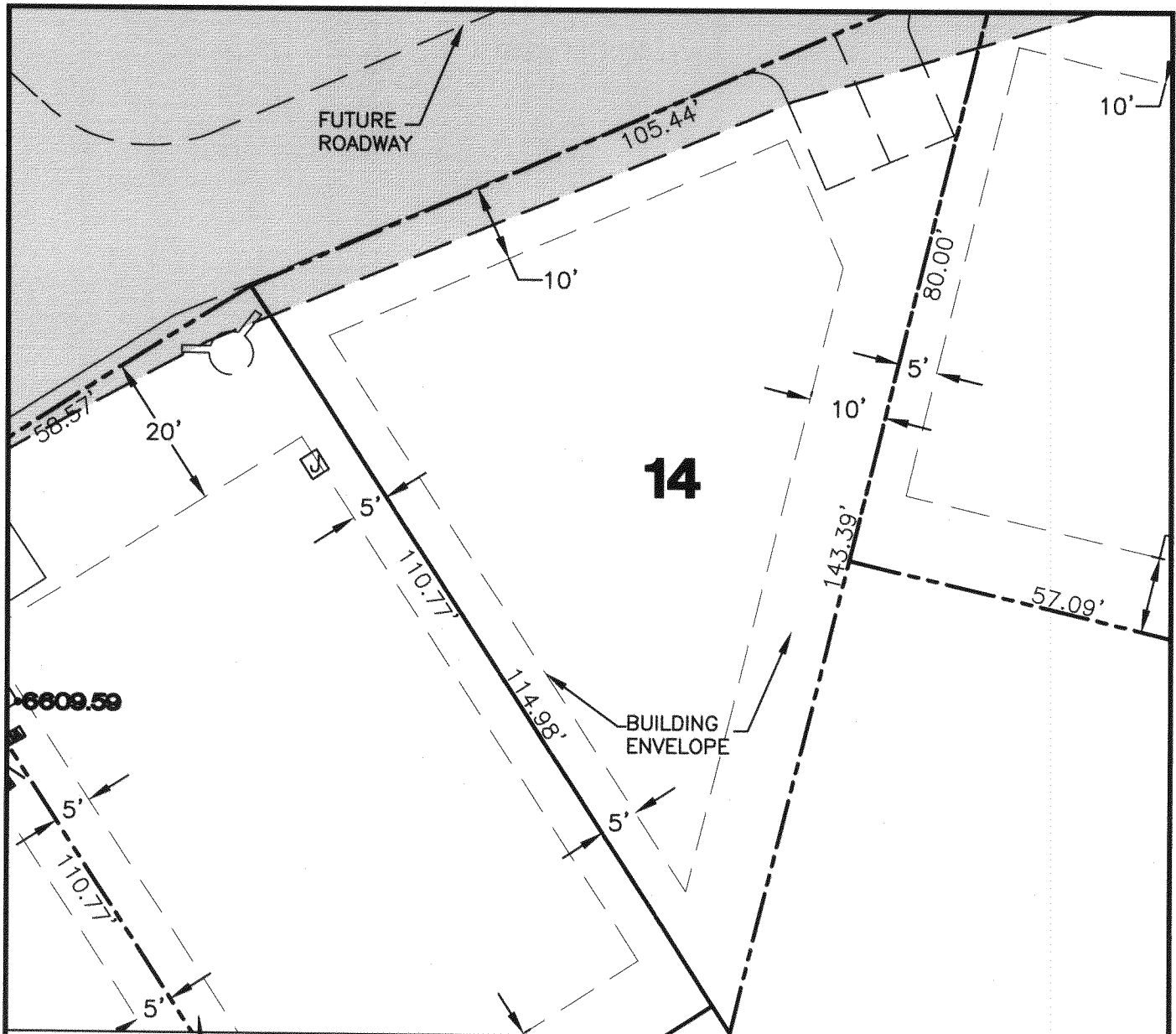
BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING UTILITY LINE OR WITHIN THE FLOODWAY.

FN: SPACE EXHIBITS

124 N. ELDEN ST.
FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 12



NOTE:
THIS UNIT IS IN PHASE 2

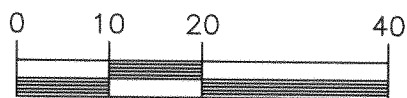
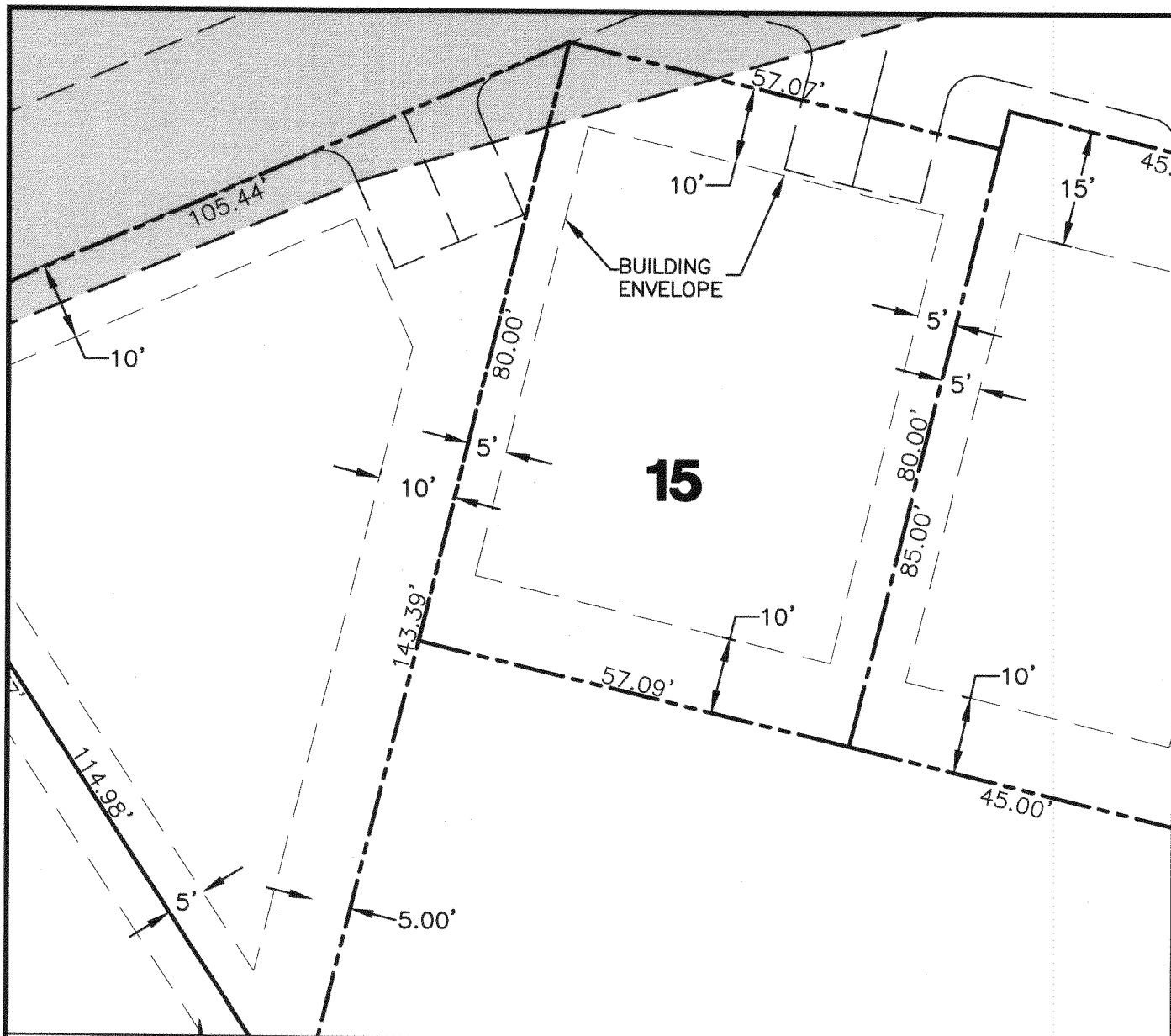
THE BASE OF THE STRUCTURAL FRAME (BSF) ELEVATION
WILL BE SET DURING THE CONSTRUCTION OF THIS PHASE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING
UTILITY LINE OR WITHIN THE FLOODWAY.

DRAFTED BY: AAS
DATE: 1/2/14
PROJ. NO.: 112658
FN: SPACE EXHIBITS

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 14



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:
THIS UNIT IS IN PHASE 2

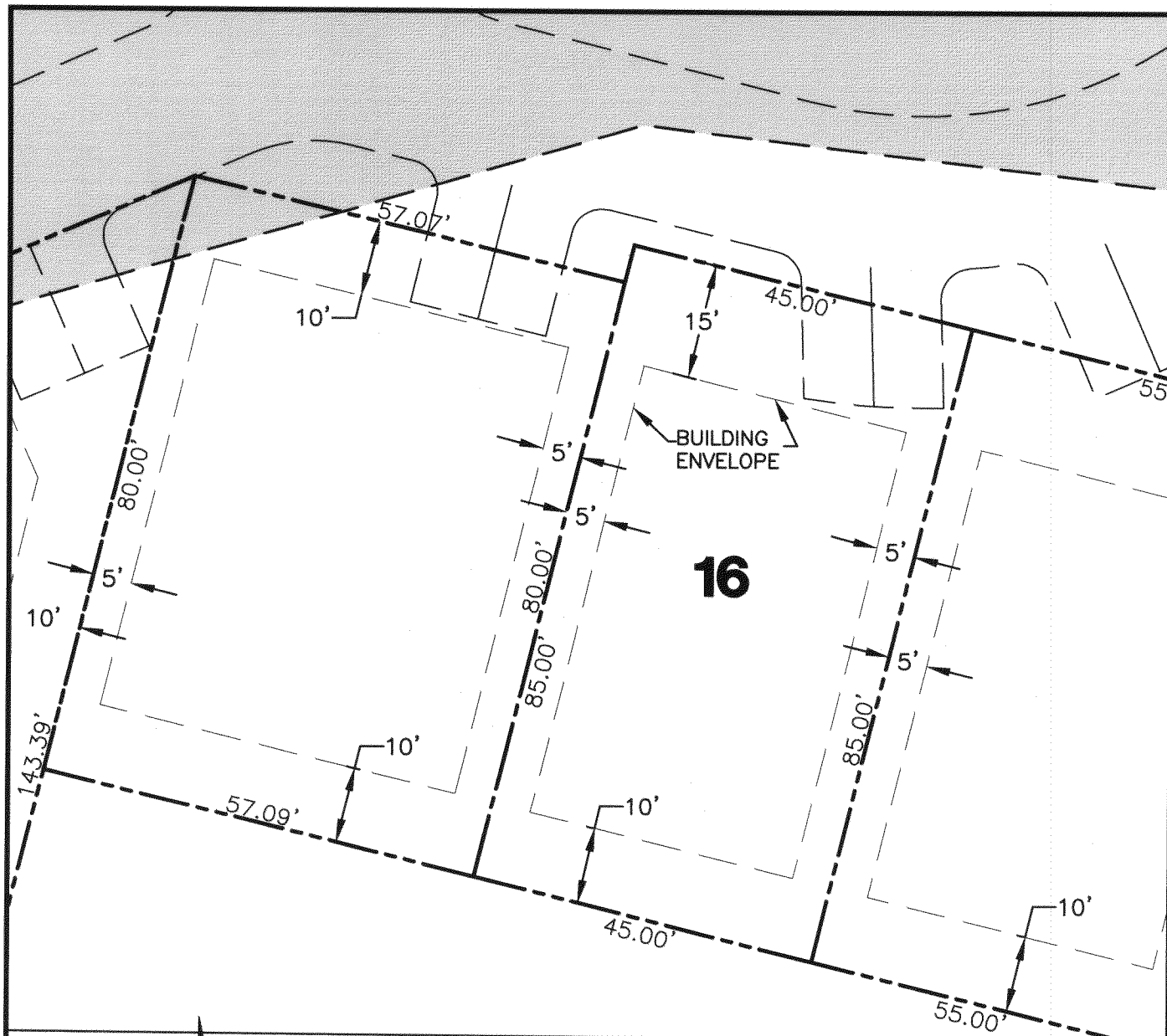
THE BASE OF THE STRUCTURAL FRAME (BSF) ELEVATION
WILL BE SET DURING THE CONSTRUCTION OF THIS PHASE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING
UTILITY LINE OR WITHIN THE FLOODWAY.

DRAFTED BY: AAS
DATE: 1/2/14
PROJ. NO.: 112658
FN: SPACE EXHIBITS

WOODSON
ENGINEERING AND SURVEYING, INC.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 15



NOTE:
THIS UNIT IS IN PHASE 2

THE BASE OF THE STRUCTURAL FRAME (BSF) ELEVATION
WILL BE SET DURING THE CONSTRUCTION OF THIS PHASE.

BUILDING MAY NOT BE CONSTRUCTED OVER ANY EXISTING
UTILITY LINE OR WITHIN THE FLOODWAY.



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

DRAFTED BY: AAS

DATE: 1/2/14

PROJ. NO.: 112658

FN: LOT EXHIBITS

WOODSON

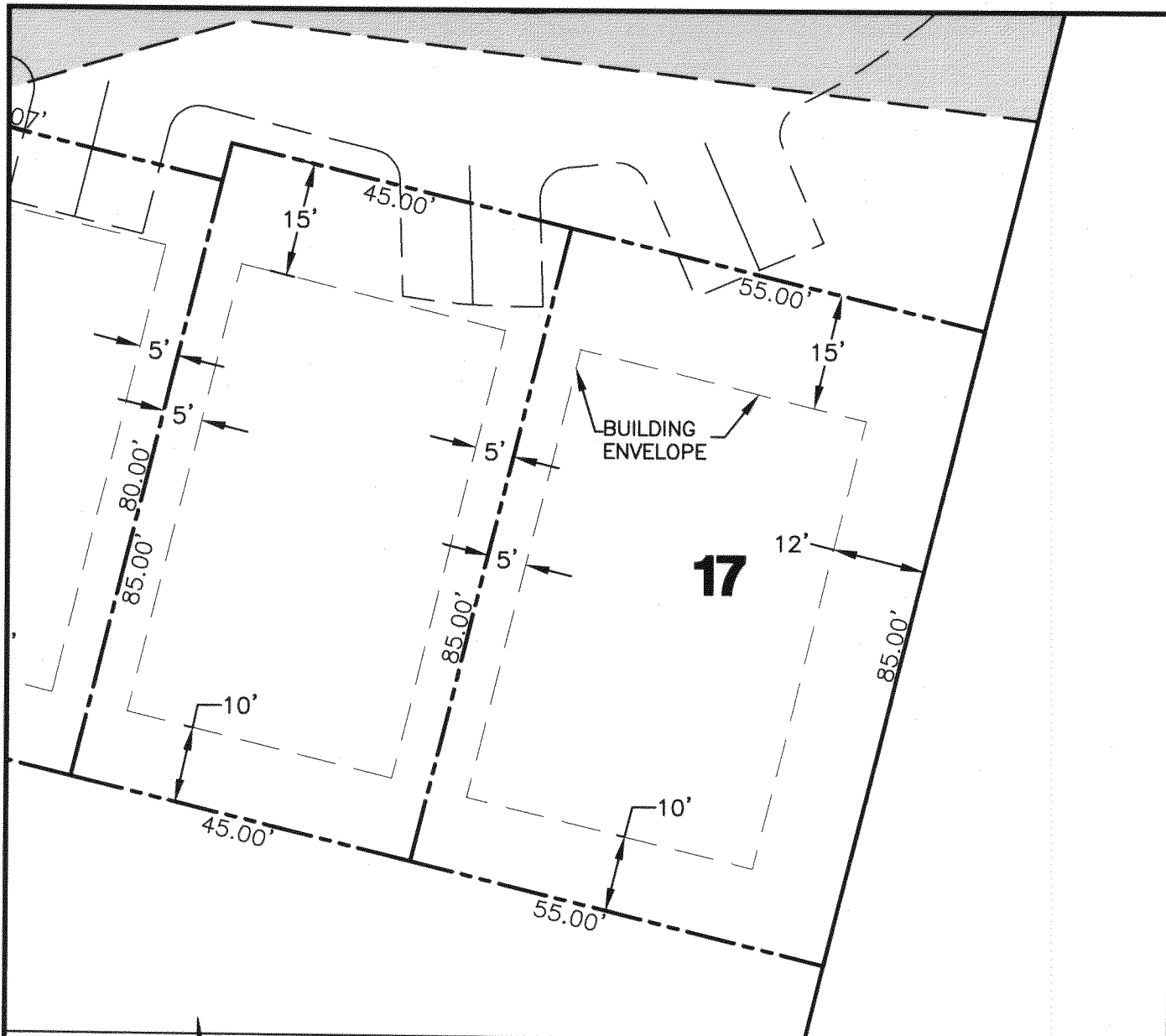
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.

FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 16



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:
THIS UNIT IS IN PHASE 2

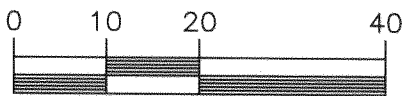
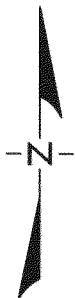
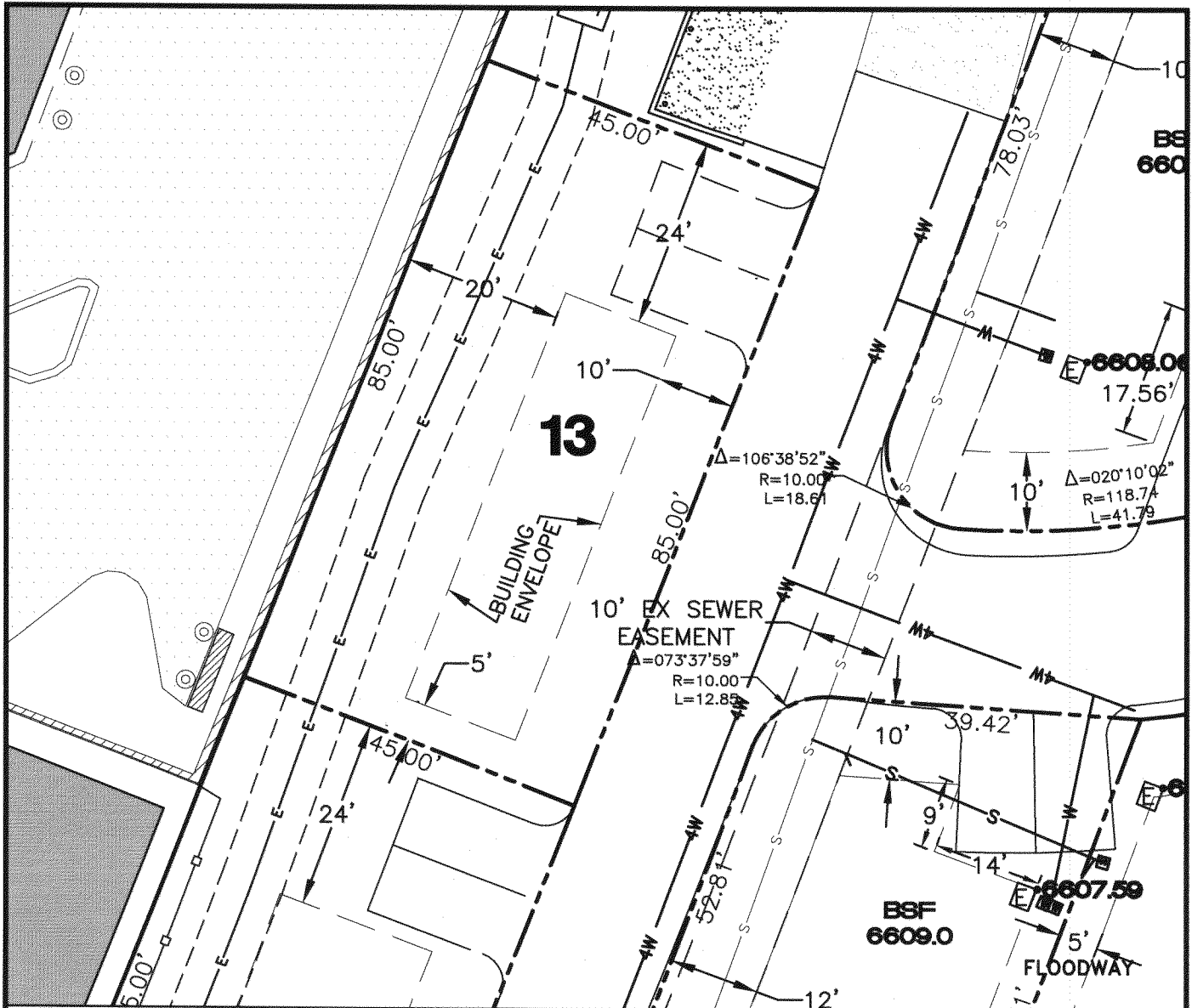
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DATE: 1/2/14
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FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 17



SCALE: 1" = 20'
CONTOUR INTERVAL: 1'

NOTE:
THIS UNIT IS IN PHASE 2

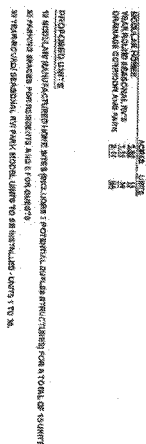
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124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE: (928) 774-4636 FAX: (928) 774-4646

CAMPER VILLAGE
SPACE 13



12515 Willows Rd., Suite 200, Kirkland, WA 98034
SECOND SUBMITTAL

These drawings are being submitted for publication elsewhere and you hereby assign to those persons and your assigns all right, title and interest in and to the above drawings and any and all models or prototypes thereof.

These drawings shall not be used or shown in any form or by any means without your express written consent.

I hereby agree to the printed assignment and to the terms and conditions of the assignment and to the terms and conditions of the license.

Signature: _____ Date: _____

Print Name: _____

ITEM NO. 7C

TOWN OF TUSYAN STAFF REPORT

Date: January 14, 2014
To: Tusayan Planning and Zoning Commission
From: Lawrence Tomasello, Town Planner
Subject: Design Review 2014-1

Issue: The Big “E” Steakhouse applicant, Monarch Enterprises, has submitted an application to add an extension to the existing Big E Steakhouse located at 395 State Route 64 in the Town of Tusayan.

Project Analysis: The proposed expansion measures 39 ft. 3¼ in. by 9 ft. 6 in. for a total of 373 square feet and will be constructed on the southeasterly end of the existing structure.

The proposed expansion is to be used for an interior freezer, a cooling area, and an area for food preparation. There will be no increase in the amount of seating for customers hence no demand for additional parking.

The Town’s Zoning Ordinance generally requires 1 parking space for each 100 sq. ft. of gross floor area for restaurants. With that provision, the addition would require an additional 4 parking spaces be added to the site, however, Section 15.1.C of the Ordinance states “For additions or enlargement of existing buildings or uses, for a change of occupancy or manner of operation that would increase the number of parking spaces required, the additional parking shall be required only for such addition, enlargement, or change and not for the entire building or use, provided that no additional parking shall be required where the total number of spaces prescribed for the addition enlargement, or change is less than 10 percent of the number of spaces prescribed for the use as conducted prior to such addition, enlargement or change.”

What that means is that the proposed structure would have to exceed 600 sq. ft. for any additional parking spaces to be added. Since the proposed addition is only 373 sq. ft. no new parking spaces need to be added to the site in order to comply with the Zoning Ordinance. Also, as a footnote, the addition to the building is not going to increase the need for additional seating capacity so there will be no negative impact, as a result of this project, to the site.

In accordance with Section 13.10-7 of the Zoning Ordinance, a decision of the Planning and Zoning Commission on a Design Review may be appealed to the Town Council by the applicant as prescribed in Section 20.6-1 (Appeal of Decision of Planning and Zoning Commission).

Conditions of Approval

1. Approval of the project is based upon a finding by the Commission that such development conforms to the applicable design guidelines and other provisions and requirements of the Zoning Ordinance.

2. Building materials, textures, and colors shall be compatible with the existing building as well as the surrounding environment.
3. Construction of the building addition shall be as represented in the attached building elevations Exhibit "A" and the site plan as depicted on Exhibits "B" of this staff report.
4. Design Review approval shall lapse and shall be void one year following the date upon which the plans and drawings were approved unless prior to the expiration of one year a building permit is issued and construction is commenced and diligently pursued toward completion.

Attachments:

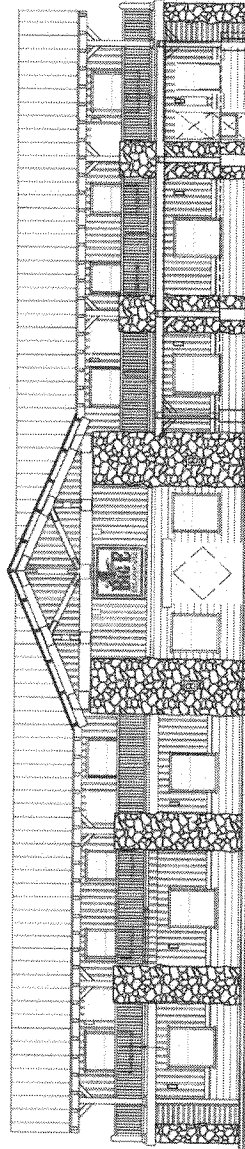
Exhibit "A" - Building Elevation

Exhibit "B" - Site Plan

Exhibit "C" - Design Review Overlay Application



ADDITION to STEAKHOUSE SALOON TUSAYAN, ARIZONA



PROJECT DATA

CONSTRUCTION TYPE	NO.	DATE
ADDITIONAL FIRE PROTECTION SYSTEM	1	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	2	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	3	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	4	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	5	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	6	10/11/13
ADDITIONAL FIRE PROTECTION SYSTEM	7	10/11/13
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ADDITIONAL FIRE PROTECTION SYSTEM	9	10/11/13
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ADDITIONAL FIRE PROTECTION SYSTEM	100	10/11/13

SYMBOL LEGEND

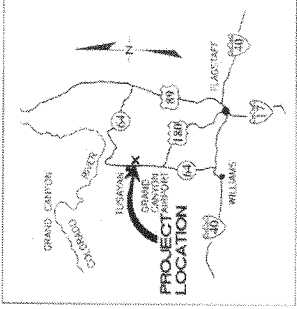
- WALL SECTION DETAIL
- SECTION THRU BUILDING
- DETAIL REFERENCE
- ROOM NAME
- KEYED NOTE
- DOOR TYPE
- WINDOW TYPE

SHEET INDEX

- CIVIL DRAWINGS (BOUND SEPARATELY)
- WOODSON ENGINEERING
- 1st 2 CIVIL COVER SHEET
- 2nd 2 SITE PLAN
- ARCHITECTURAL DRAWINGS
- STOWE Architecture
- A0.0 COVER SHEET
- FLOOR PLANS
- A1.1 FLOOR PLANS WITH ELEVATIONS
- A0.1 MISCELLANEOUS
- AS.1 PROJECT INFORMATION & ACCESSIBILITY NOTES
- STRUCTURAL DRAWINGS
- DCI ENGINEERS
- SS.1 STRUCTURAL GENERAL NOTES
- SS.2 STRUCTURAL FOUNDATION & FRAMING PLANS
- SS.3 STRUCTURAL DETAILS & LOADING PLAN

DEFERRED PLANS SUBMITTALS

FIRE SUPPRESSION & FIRE ALARM SYSTEMS
ALL DEFERRED PLANS SUBMITTALS SHALL BE MADE TO WILLOW
FIRE SUPPRESSION & FIRE ALARM SYSTEMS, INC. FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
INCLUDING ELECTRICAL, FIRE ALARM, AND FIRE SUPPRESSION SYSTEMS. AND
OTHER EQUIPMENT AS MAY BE APPLICABLE.



VICINITY MAP

PROJECT DIRECTORY

OWNER
BIG E STEAKHOUSE
SCOTT SEDALE, AZ 86001
TEL: 928-698-3333
CONTACT: CLAYTON COOK
e-mail: clayton.cook@bigesteakhouse.com

CONTRACTOR
WILSON CONSTRUCTION GROUP
1251 WILSON RD, SE
SUITE 220
MARIETTA, GA 30067
TEL: 770-427-2700
FAX: 770-427-2700
e-mail: mark@wilsonconstruction.com

CIVIL ENGINEER
WOODSON ENGINEERING
1400 WILSON RD, SE
SUITE 220
MARIETTA, GA 30067
TEL: 770-427-2700
FAX: 770-427-2700
e-mail: mark@wilsonconstruction.com

STRUCTURAL ENGINEERS
DCI ENGINEERS
SUITE 1000
1100 WEST PALM LANE
TUSASAN, AZ 86045
TEL: 928-698-3333
CONTACT: GEORGE GIMAS
e-mail: george.gimas@dciconsultants.com

ARCHITECT
STOWE ARCHITECTURE
1129 WEST PALM LANE
TUSASAN, AZ 86045
TEL: 928-698-3333
CONTACT: GARY STOWE
e-mail: gary@stowe-architect.com

Big E STEAKHOUSE
& Saloon
KITCHEN EXPANSION TUSAYAN, ARIZONA

Revisions
Date: 09-25-13
Project No: 10311
COVER SHEET
A0.0

EXHIBIT A

Town of Tusayan
Design Review Overlay Application

Contact Information

Willdan Engineering 1440 East Missouri Avenue Ste. C-170

Phoenix, Arizona 85014

Phone (602)395-7531 - Fax (602) 870-7601

ganderson@willdan.com

APPLICANT

Name MONARCH ENTERPRISES

Mailing Address PO Box 3665

GRAND CANYON, AZ 86023

Contact Person CLAYANN COOK

Phone 928-606-0522 Fax 928-638-3279

Email CLAYANN@BIGESTEAHOUSE.COM

PROPERTY INFORMATION

Assessor's Parcel # 5021728

Subdivision _____

Unit # _____ Lot # _____

Address/Location 395 STATE ROUTE 64

Existing Zoning C610000

Existing Land Use RESTAURANT

Proposed Land Use SAME

Lot Size _____

OFFICE USE ONLY

Received By: Will Wright Date: 12-23-13

Receipt #: N/A Fee: \$400.00

Case #: DR 2014-01

Related Cases: None

SUBMITTAL CHECKLIST

☒ \$400 non-refundable filing fee.

The purpose of this fee is to pay for legal noticing and application processing.

☐ Pre-application meeting with a staff planner of the Town of Tusayan.

Date met with staff for pre-application _____

☐ A typewritten list of names and addresses of all property owners within 300 feet of subject property.

☐ Fifteen copies of each of the following plans and drawings:
(See reverse for detailed requirements)

☒ Site Plan

☐ Signage Plan

☐ Landscape Plan

☐ Lighting Plan

☒ Architectural Drawings

☒ Grading and Drainage Plans

All materials must be folded to fit in a legal-size file (8"x14") and labeled so that the applicant's name and project location are visible.

CERTIFICATION & SIGNATURE

Submission of this application constitutes consent of the applicant in granting the City of Tusayan access to the subject property during the course of project review.

No further consent or notice shall be required.

I hereby certify that the information in this application is correct and agree to abide by the regulations of this jurisdiction.

Signature of Applicant

Clayann Cook

Date 12/30/13

Signature of Property Owner (if not the applicant)

Date _____

COMMISSION ACTION

___ Approved with Conditions (see attachments)

___ Denied

Resolution #: _____ Date: _____

BOARD ACTION

___ Approved with Conditions (see attachments)

___ Denied

Resolution #: _____ Date: _____

EXHIBIT C

Town of Tusayan
Design Review Overlay Application

Contact Information

Willdan Engineering 1440 East Missouri Avenue Ste. C-170

Phoenix, Arizona 85014

Phone (602)395-7531 - Fax (602) 870-7601

ganderson@willdan.com

Guidelines for a Design Review Overlay (DRO)

PLANS AND DRAWINGS REQUIRED FOR APPLICATION

An application for a Design Review Overlay (DRO) requires the following plans. *Fifteen copies* of each plan—*scaled and dimensioned*—must be included. All materials must be folded to fit in a legal-size file (8"x13") and labeled so that the applicant's name and project location are visible.

- ☒ Site plan detailing property boundaries; existing improvements and uses; and proposed improvements and uses. The site plan shall also indicate the locations of driveways, pedestrian walks, landscaped areas, fences, walls, and off-street parking areas including entrances and exits and the direction of traffic flow into and out of off-street parking areas.
- ☐ Landscape plan detailing the locations of existing trees (both to be retained and to be removed); the location and design of landscaped areas; the number, varieties and sizes of proposed plant materials; and other landscape features including sprinkler and irrigation systems.
- ☒ Architectural drawings including floor plans in sufficient detail to permit computation of yard and parking requirements; and elevations of all proposed structures as they will appear upon completion. All exterior surfacing materials and colors shall be specified. Color renderings or paint and material samples are required.
- ☐ Signage plan detailing all existing and proposed signs, including their location, size, materials, color, and method of illumination.
- ☐ Lighting plan including location of all outdoor lighting fixtures and description of each (i.e. lamp type, lumen output, shielding).
- ☐ Grading and drainage plans.
- ☐ Any other plan as determined by the Town Planner.

PUBLIC HEARINGS

The Planning and Zoning Commission meets regularly. Applicants will be notified by phone, mail or e-mail of meeting dates, times, and places. An incomplete application may delay the scheduling of a hearing. The action of the Planning and Zoning Commission on a Design Review Overlay is final unless an appeal is filed with the Board of Supervisors within fifteen days of Commission action.